



151 W. Church Street
Lewisville, TX 75057

A G E N D A

OLD TOWN DESIGN REVIEW COMMITTEE MONDAY, NOVEMBER 11, 2024

LEWISVILLE CITY HALL
DEVELOPMENT SERVICES CONFERENCE ROOM
2ND FLOOR
151 WEST CHURCH STREET
LEWISVILLE, TEXAS

REGULAR SESSION MEETING – 4:00 P.M.

-
1. **Call to Order and Announce That a Quorum is Present.**
 2. **Approve the Minutes from the October 28, 2024 Meeting.**
 3. **Consideration of a Letter of Design Approval for New Townhomes; as Requested by Steven Homeyer, Homeyer Engineering on behalf of Robby Rahmani, 421 S Cowan Street LLC, the Property Owner. (24-10-30-LDA)**
 4. **Announcements**
 5. **Adjournment**

I do hereby certify that the above notice of meeting of the City of Lewisville Old Town Design Review Committee was posted at City Hall, City of Lewisville, Texas in compliance with Chapter 551, Texas Government Code on _____, 2024 by _____ A.M.

Planning Department

NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS

The Lewisville City Hall & Development Services Conference Room are wheelchair accessible. Access to the building and special parking are available at the front entrance along Church Street. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, or large print, are requested to contact the Planning Department at (972) 219-3455 or by FAX (972) 219-3698 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

**MINUTES
OLD TOWN DESIGN REVIEW COMMITTEE
OCTOBER 28, 2024**

Committee Members Present: Chair Randy Tetzlaff, Vice-Chair Amy Puckett, Jamie Kosich,

Committee Members Absent: Kelly Blackall, Odin Clack

City Staff Present: Michele Berry, Planning Manager; Stacie Anaya, Director of Parks and Recreation; Randy Simon, Capital Improvements Project Manager

Item 1: Call to Order and Announce That a Quorum is Present

With a quorum present, the Old Town Design Review Committee meeting was called to order by Chair Randy Tetzlaff at 4:00 p.m. on Monday, October 28, 2024, in the Development Services Conference Room, 2nd Floor, of the Lewisville City Hall, 151 West Church Street, Lewisville, Texas.

Item 2: Approve the Minutes From the September 23, 2024 Meeting.

The first item on the agenda was the approval of the minutes from the September 23, 2024 Meeting. *A motion was made by Jamie Kosich and seconded by Amy Puckett to approve the minutes as presented. The motion passed unanimously (3-0).*

Item 3:

Consideration of a Letter of Design Approval for a Monument Sign Located at 423 Elm Street; as Requested by Mary Conway, Fastsigns, the Applicant, on Behalf of Sara Higgins, Vista Physical Therapy Business Owner. (24-09-27-LDA)

Michele Berry, Planning Manager, gave a brief overview of the monument sign with a recommendation to approve as presented. There was no discussion. *A motion was made by Jamie Kosich and seconded by Amy Puckett to approve a monument sign as presented. The motion passed unanimously (3-0).*

Item 4:

Consideration of a Letter of Design Approval for an Exterior Modification for a Single-Family Home, Located at 331 North Charles Street; as Requested by Cleve Joiner, the Property Owner. (24-09-29-LDA)

Michele Berry, Planning Manager, gave a brief overview of the exterior modification for a single-family home with a recommendation to approve the windows as presented. The property owner, Cleve Joiner, was present and available for questions. He clarified windows from the side of the home would be moved to the front of the home. There was no discussion. *A motion was made by*

Page 2
Minutes - Old Town Design Review Committee
October 28, 2024

Jamie Kosich and seconded by Amy Puckett to approve exterior modification for a single-family home as presented. The motion passed unanimously (3-0).

Item 5:

Consideration of a Letter of Design Approval for a Monument or Gateway Entry Sign for Old Town in the Median of West Main Street, 70 Feet East of Hatcher Avenue; as Requested by Randy Simon, Parks Department, City of Lewisville. (24-10-31-LDA)

Michele Berry, Planning Manager, gave a brief overview of the sign with a recommendation to approve with modifications as presented. Stacie Anaya and Randy Simon from Parks Department were present and available for questions. The illumination is planned to be neon with some LED downlighting. If true neon tube lighting is not feasible due to budget issues, then a LED lights mimicking neon will be considered. There was further discussion on location, scale, height of the signs, projection over the lanes, placemaking, timing of construction to be done in time for 2025 centennial celebration. A motion was made by Amy Puckett and seconded by Randy Tetzlaff to approve a sign with the dimension and location modifications as presented. The motion passed unanimously (3-0).

Item 6: Announcements

- Michele Berry, Planning Manager, gave an update on the Backyard Cottage competition which closes on October 31.
-

Item 7: Adjournment

There being no other items to discuss, the meeting was adjourned at 4:24 p.m.

These minutes approved by the Old Town Design Review Committee on November 11, 2024.

Respectfully submitted,

Approved,

Michele Berry, Planning Manager

Randy Tetzlaff, Chair

TO: Old Town Design Review Committee

FROM: Michele Berry, AICP, Planning Manager

MEETING

DATE: November 11, 2024

SUBJECT: Consideration of a Letter of Design Approval for New Townhomes; as Requested by Steven Homeyer, Homeyer Engineering on behalf of Robby Rahmani, 421 S Cowan Street LLC, the Property Owner. (24-10-30-LDA)

BACKGROUND

The subject property was the previous location of the Tiner Radiator Shop. The property was rezoned from residential (R-7.5) to Old Town Mixed-Use Two (OTMU-2) in September of 2018 with the intention of building townhomes. It was purchased by a developer in 2020, and the shop was demolished in late 2023. The Old Town Master Plan calls for OMTU-2 zoning on all properties between South Cowan Avenue and South Edna Avenue.

The surrounding blocks contain mostly single-family homes with scattered churches and commercial uses. The adjacent property to the south is zoned Local Commercial (LC) and was occupied most recently by a painting company. This property was purchased by an investor in 2023. Adjacent to the west is a single-family home with R-7.5 zoning. Adjacent to the southwest is a single-family home that was rezoned from R-7.5 to OTMU-2 in October of 2023. Across Hickory Street to the north is a church with OTMU2 zoning and across South Cowan Avenue to the east are single-family homes with R-7.5 zoning.

ANALYSIS

This project requires a Planned Development ordinance based on the site layout, discussed below. A Planned Development application requires elevations. Before bringing the Planned Development before the Planning and Zoning Commission and City Council, the elevations are being brought to the Old Town Design Review Committee.

Elevations

The townhomes are inspired by the Italianate style. The applicant built the townhomes that are north of City Hall on Walters and Mill Street, commonly referred to as the ‘brownstones’ project. He is proposing a slight variation of that design for these townhomes. All units have a recessed front entry with an awning that faces either the street or private open space area. Each unit has a Juliet balcony on either the second or third floor. Unlike the brownstones there are no rear balconies on this layout. Units with balconies on the second floor have a gable at the top of the projection and units with balconies on the third floor have a small dormer window. The gables and dormers help to break up the roofline. The front and side elevations are primarily brick with fiber-cement vertical siding on the front projection. The rear contains fiber-cement vertical siding. Windows are vertically oriented with four over four lights.

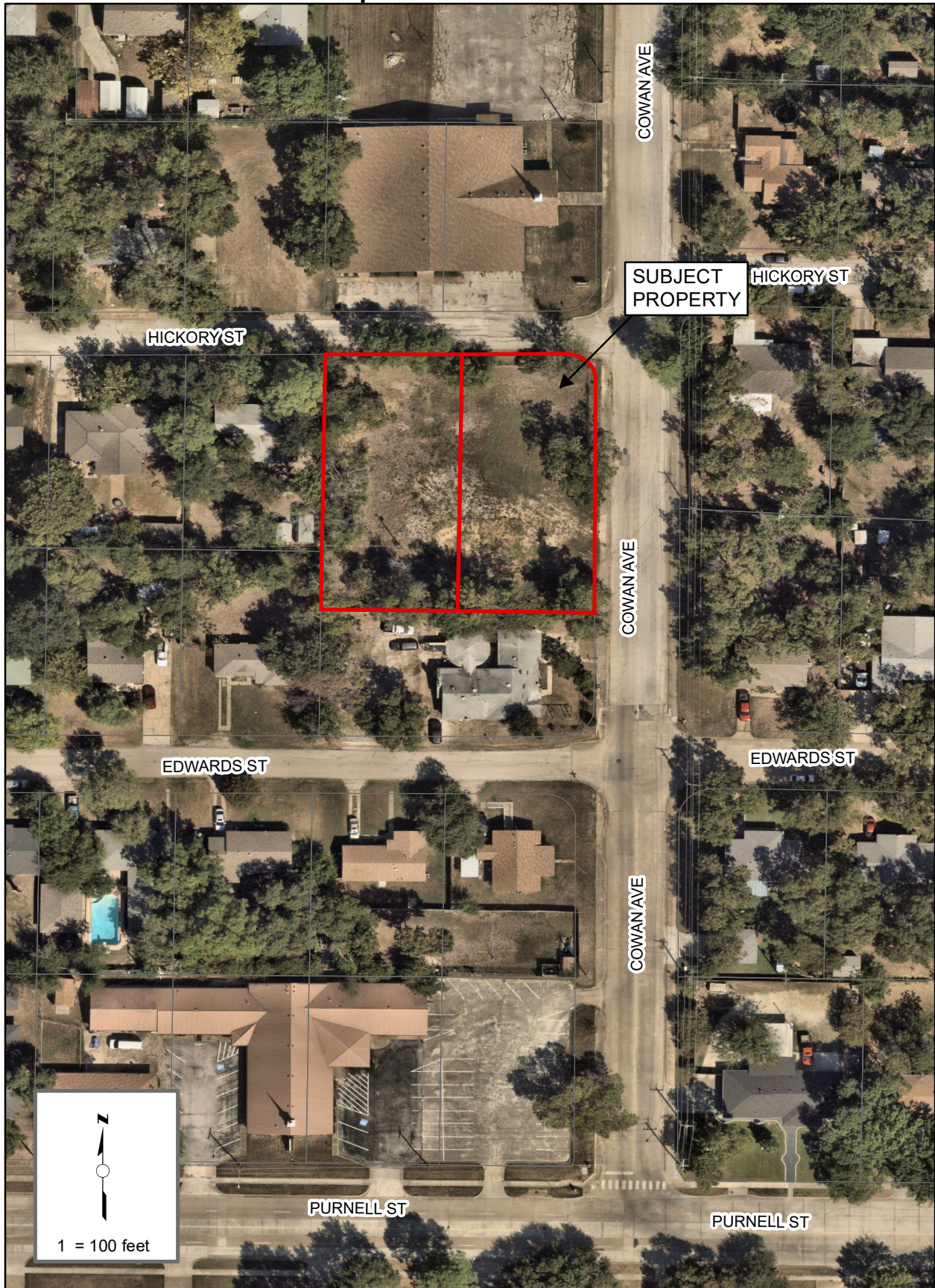
Site layout

The applicant has presented a layout with three units facing north that engage Hickory Street, six units facing east that engage Cowan Street and four units facing south towards an internal, private open space. Each unit has two garage parking spaces. To accommodate the requirement of guest parking five on-street parking spaces will be constructed on South Cowan Avenue and two off-street parking spaces are internal to the development. Trash service is provided through a dumpster on the west side of the site. The site layout does not meet the standards of a mews street which is one of the items that requires Planned Development zoning for this project.

RECOMMENDATION

Staff recommends that the Old Town Design Review Committee grant a letter of design approval for the exterior design as requested.

Aerial Map - 421 S. Cowan Ave.



421 S. Cowan Street, LLC
5600 W. Lovers Lane Ste 116-310
Dallas Texas 75209

October 7, 2024

Mr. Richard Luedke

City Of Lewisville

151 Church Street

Lewisville, Texas 75057

RE: 421 S. Cowan Street

Mr. Luedke,

Please accept this letter on behalf of 421 S. Cowan Street, LLC as an explanation of proposed developing and construction of 13 New Town Homes located on South Cowan Street being referred to as Cowan Street Townhome Development on a 0.614 Acre tract as depicted on the attached site plan.

Cowan Street Townhome Development project shall consist of 13 townhome units approximately 2,000 SF under the roof requiring 1" Meter, these town homes have an approximately of 170 LF of frontage at S. Cowan Street and approximately 156 LF of frontage along Hickory Street. These Town Homes shall be Three Story Attached with a combination of Brick and Siding, Front Entries facing the Street with Rear Garages access garages.

We are estimating the value of these townhomes to start at \$495,000.00 with the value of total overall project to be \$ 6,435,000.00.

We are very excited to bring this project to the City of Lewisville. We believe that this new residential project will contribute to the redevelopment energy that the city is experiencing and help activate the new Town area.

Regards

A handwritten signature in blue ink, appearing to read 'Robby Rahmani', is written over the word 'Regards'.

Robby Rahmani

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- TO FINISH EL: 148'-2"
- CAF COMPOSITION SHINGLE ROOF, 30 YR. WEATHERED WOOD
- OUR METAL GREY COPING CAP
- BRICK VENER, COLUMBUS BRICK COMPANY, BURLINGTON
- METAL COLLECTION BOX
- TO PLATE EL: 131'-4"
- 5"x8" STYLE METAL GUTTER
- SOLDER COURSE BRICK
- 3 STEP BRICK CORBEL
- FIBERGLASS BALCONY DOOR (WHITE)
- WARRIORS BUTT COLOR CAST STONE SILL
- METAL BALCONY RAIL, FLAT BLACK
- THIRD LEVEL F.F. EL: 122'-4"
- BRICK SILL COURSE (1 BRICK COURSE TALL)
- BRICK VENER, COLUMBUS BRICK COMPANY, BURLINGTON
- HANDPAINTED METAL BRICKS SONG PAINED
- 4" METAL DOWNPOUT
- SECOND LEVEL F.F. EL: 118'-0"
- BRICK VENER, COLUMBUS BRICK COMPANY, BURLINGTON
- SOLDER BRICK HEADER
- WALL WINDOW (WHITE)
- ENTRY DOOR
- METAL RAIL, FLAT BLACK
- GROUND LEVEL F.F. EL: 100'-0"
- CONCRETE STEPS

1 FRONT ELEVATION
A301 3/16" = 1'-0"



ClayCons, LLC.
5936 RidgeLine Dr
McKinney, Tx, 75070
Tel: 682 472 7039

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

Title
EXTERIOR ELEVATIONS

Drawn By: _____ Author
Checked By: _____ Checker
Scale: 3/16" = 1'-0"
Date: 08/05/2024
Project Number: 20240512
Sheet No.:

A301

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1 REAR ELEVATION
 A302 3/16" = 1'-0"



ClayCons, LLC.
 5936 RidgeLine Dr
 McKinney, Tx, 75070
 Tel: 682 472 7039

PRELIMINARY
 NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
 S COWAN STREET
 LEWISVILLE, TX, 75057

Title
 EXTERIOR ELEVATIONS

Drawn By: Author
 Checked By: Checker
 Scale: 3/16" = 1'-0"
 Date: 08/05/2024
 Project Number: 20240512
 Sheet No.:

A302

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CLAY CON
Construction Co.

ClayCons, LLC.

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PRELIMINARY
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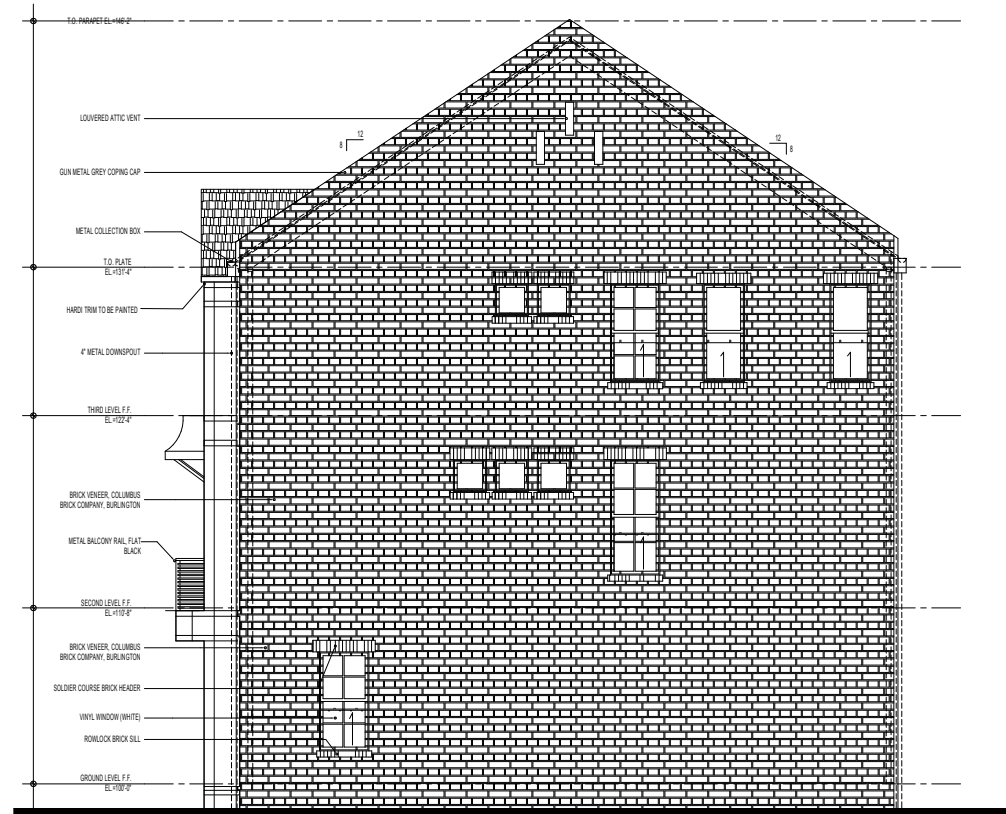
No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

Title
EXTERIOR ELEVATIONS

Drawn By:	Author
Checked By:	Checker
Scale:	3/16" = 1'-0"
Date:	08/05/2024
Project Number:	20240512
Sheet No.:	

A303



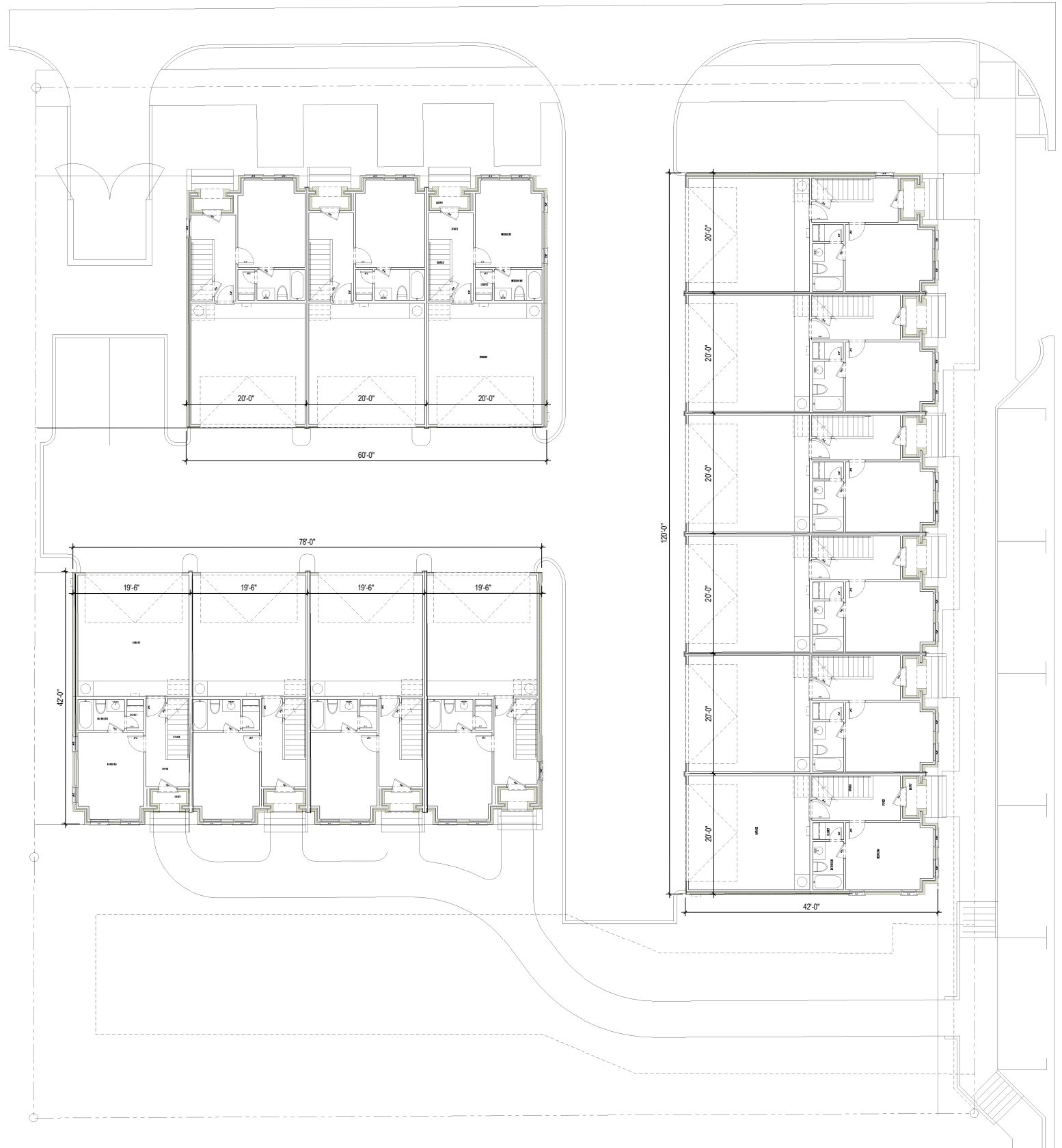
1 RIGHT ELEVATION
A303 3/16" = 1'-0"



2 LEFT ELEVATION
A303 3/16" = 1'-0"



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1 ARCHITECTURAL SITE PLAN
A100 1" = 10'-0"



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No.	Description	Date

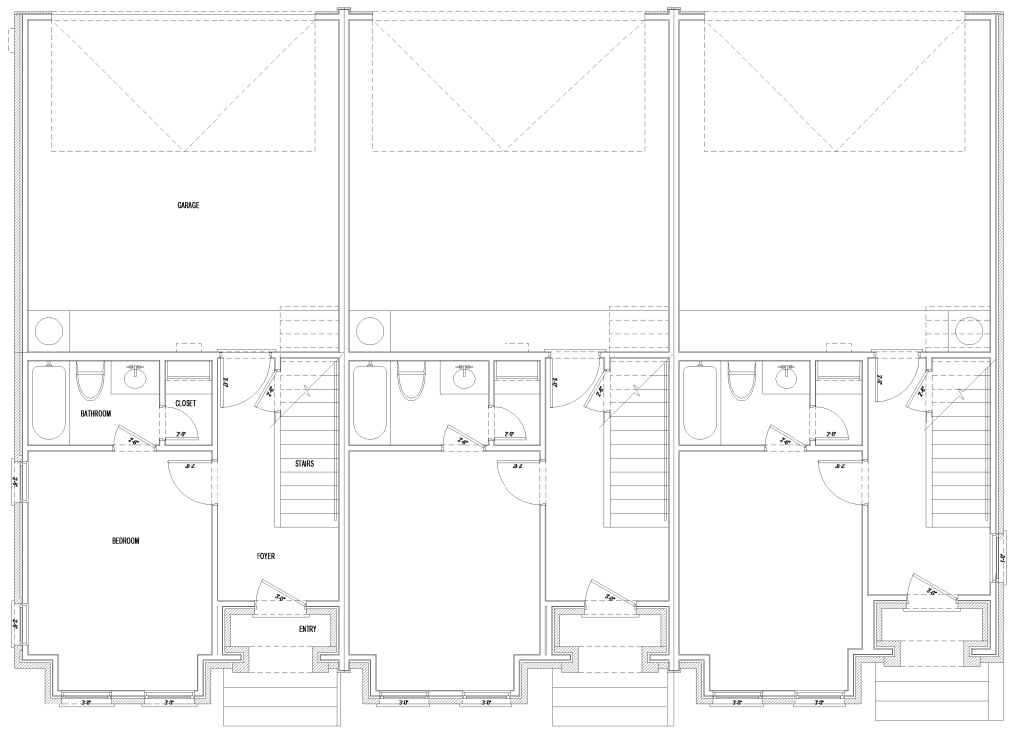
Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

Title
ARCHITECTURAL SITE PLAN

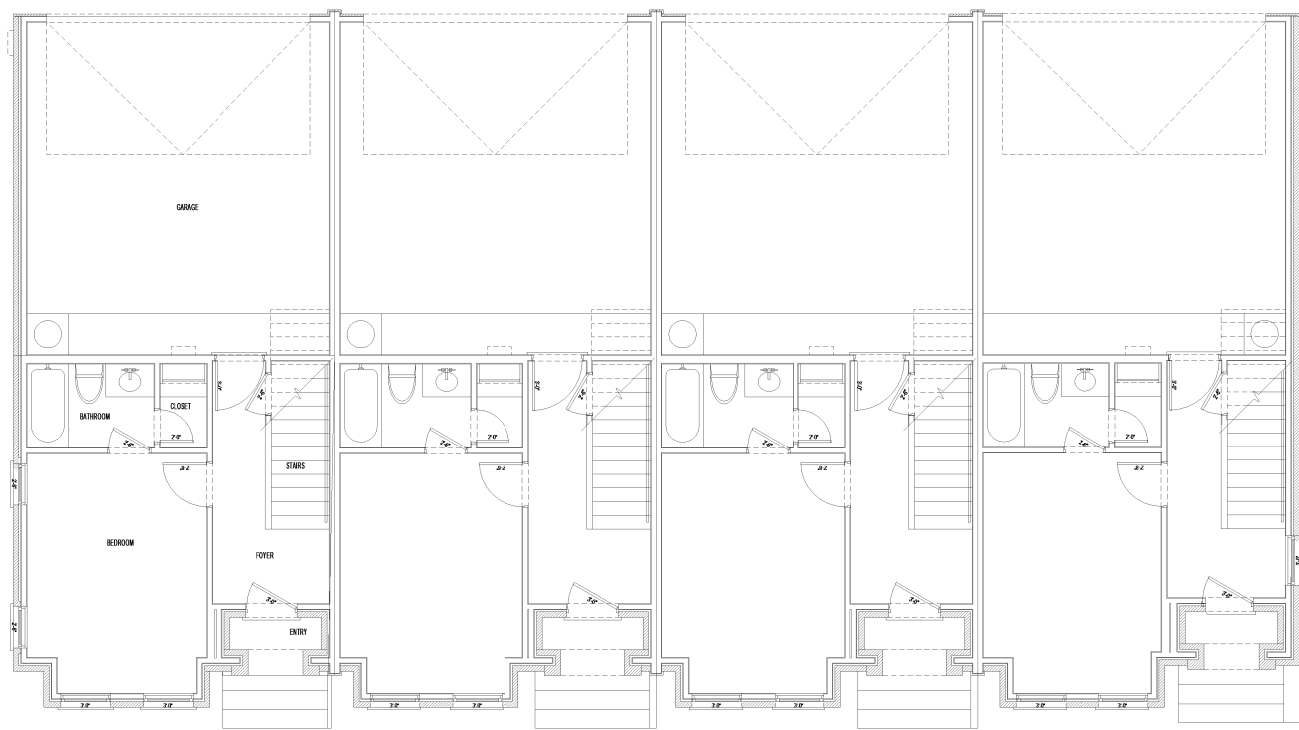
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Checked By: _____ Checker
Scale: 1" = 10'-0"
Date: 08/05/2024
Project Number: 20240512
Sheet No.:

A100

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1 FIRST FLOOR PLAN, BLOCK A
 A201 3/16" = 1'-0"



2 FIRST FLOOR PLAN, BLOCK B
 A201 3/16" = 1'-0"



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PRELIMINARY
 NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
 S COWAN STREET
 LEWISVILLE, TX, 75057

Title
 FIRST FLOOR PLAN - BLOCK A, B

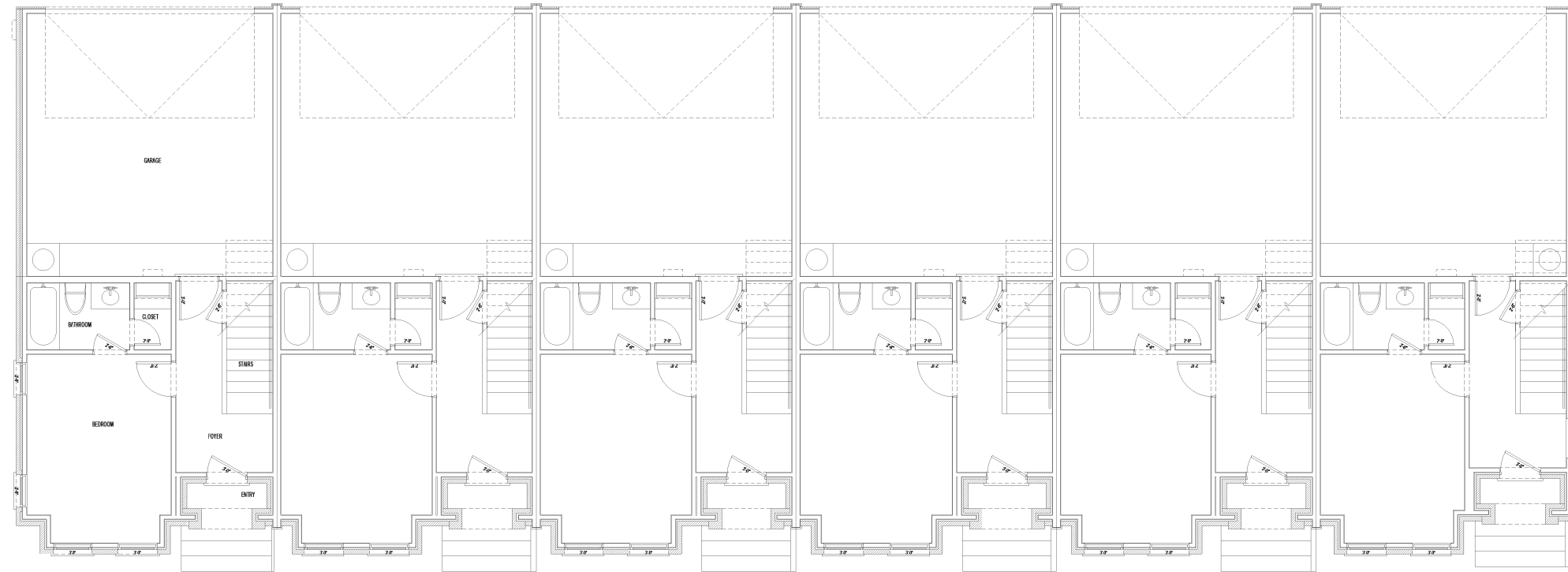
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 Project Number: 20240512
 Sheet No.:

A201

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1 FIRST FLOOR PLAN, BLOCK C
 A202 3/16" = 1'-0"



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 5936 RidgeLine Dr
 McKinney, Tx, 75070
 Tel: 682 472 7039

PRELIMINARY
 NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
 S COWAN STREET
 LEWISVILLE, TX, 75057

Title
 FLOOR PLAN - BLOCK C

Drawn By: _____ Author
 Checked By: _____ Checker
 Scale: 3/16" = 1'-0"
 Date: 08/05/2024
 Project Number: 20240512
 Sheet No.:

A202

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Construction Co.

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NOT FOR CONSTRUCTION

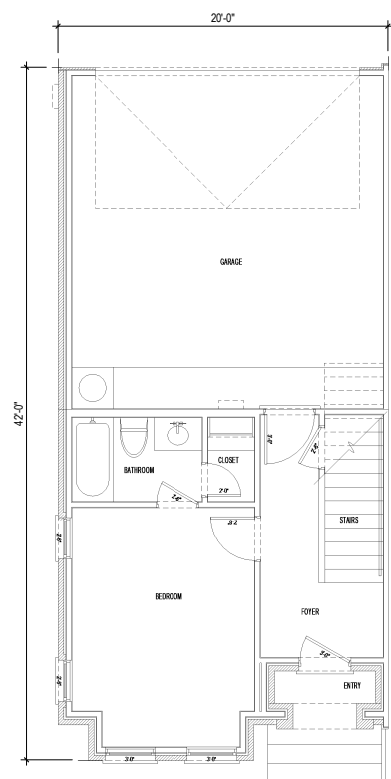
No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

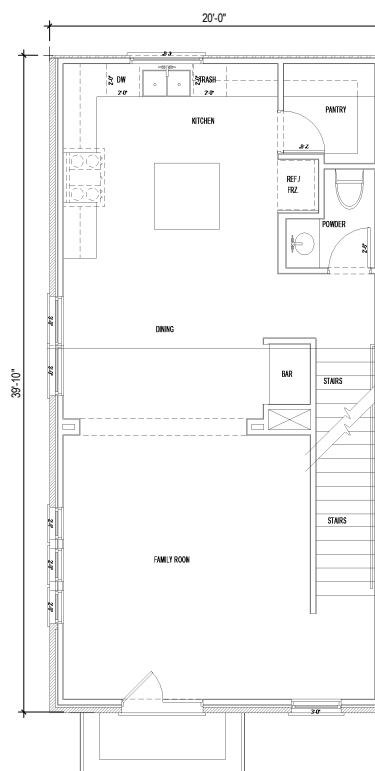
Title
FLOOR PLAN - LEFT CORNER UNIT

Drawn By:	Author
Checked By:	Checker
Scale:	3/16" = 1'-0"
Date:	08/05/2024
Project Number:	20240512
Sheet No.:	

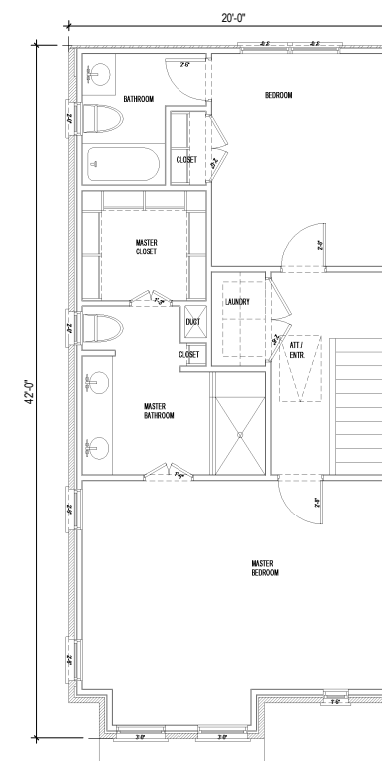
A210



SINGLE UNIT - FIRST FLOOR PLAN



SINGLE UNIT - SECOND FLOOR PLAN

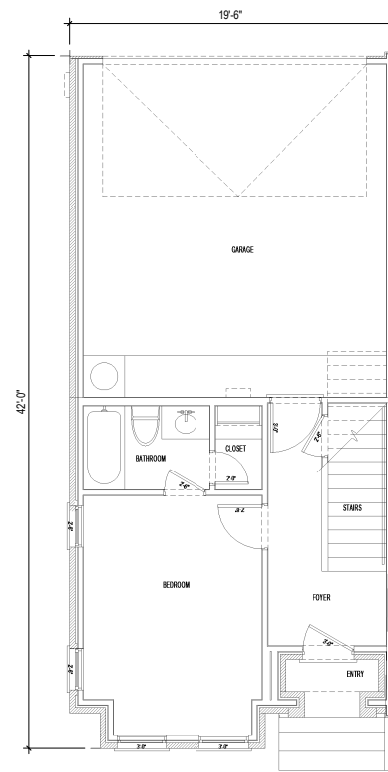


SINGLE UNIT - THIRD FLOOR PLAN

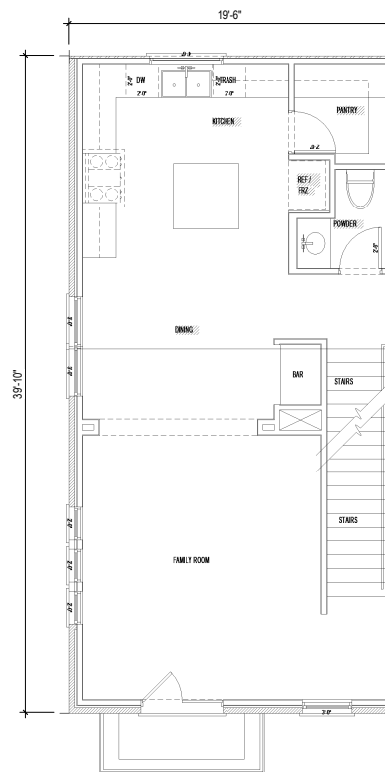
1 LEFT CORNER SINGLE UNIT-20'-0" WIDE
A210 3/16" = 1'-0"

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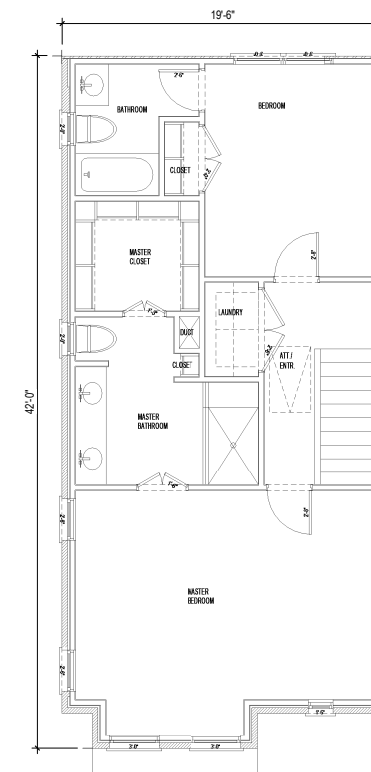
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SINGLE UNIT - FIRST FLOOR PLAN



SINGLE UNIT - SECOND FLOOR PLAN



SINGLE UNIT - THIRD FLOOR PLAN

1 LEFT CORNER SINGLE UNIT- 19'-6" WIDE
 A211 3/16" = 1'-0"



ClayCons, LLC.
 5936 RidgeLine Dr
 McKinney, Tx, 75070
 Tel: 682 472 7039

PRELIMINARY
 NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
 S COWAN STREET
 LEWISVILLE, TX, 75057

Title
 FLOOR PLAN - LEFT CORNER UNIT

Drawn By: Author
 Checked By: Checker
 Scale: 3/16" = 1'-0"
 Date: 08/05/2024
 Project Number: 20240512
 Sheet No.:

A211

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PRELIMINARY
 NOT FOR CONSTRUCTION

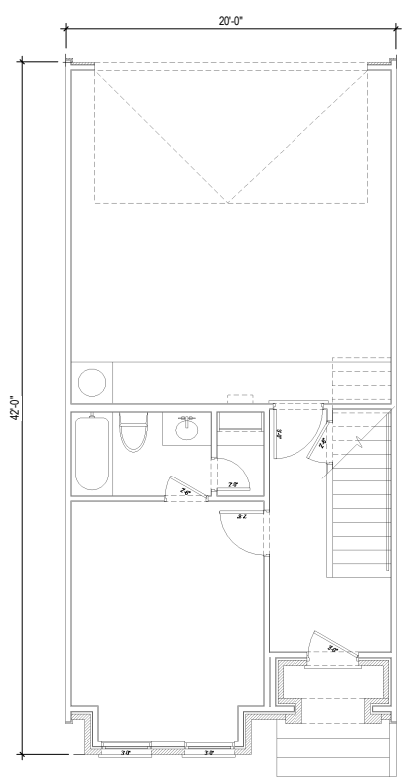
No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
 S COWAN STREET
 LEWISVILLE, TX, 75057

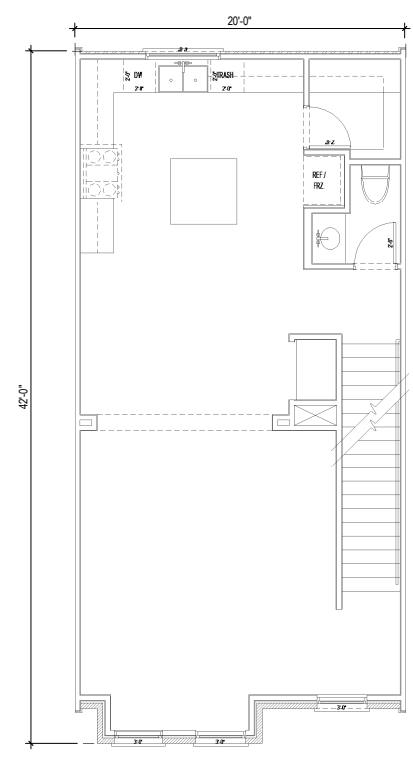
Title
 FLOOR PLAN - MIDDLE UNIT

Drawn By: _____ Author
 Checked By: _____ Checker
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 Date: 08/05/2024
 Project Number: 20240512
 Sheet No.:

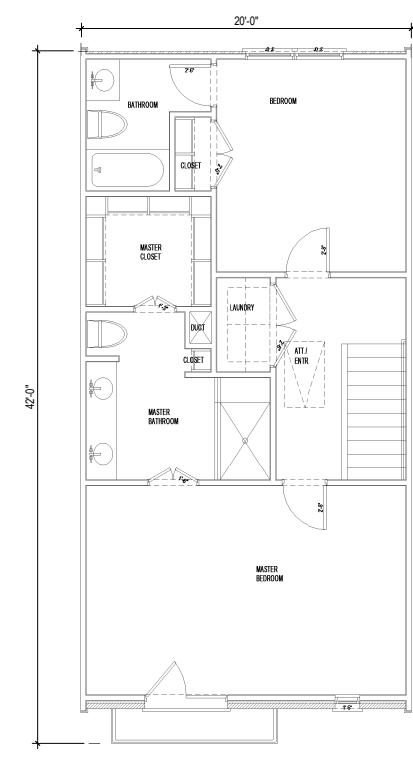
A213



SINGLE UNIT - FIRST FLOOR PLAN



SINGLE UNIT - SECOND FLOOR PLAN



SINGLE UNIT - THIRD FLOOR PLAN

1 MIDDLE SINGLE UNIT-20'-0" WIDE
 A213 3/16" = 1'-0"

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ClayCons, LLC.

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Tel: 682 472 7039

PRELIMINARY
NOT FOR CONSTRUCTION

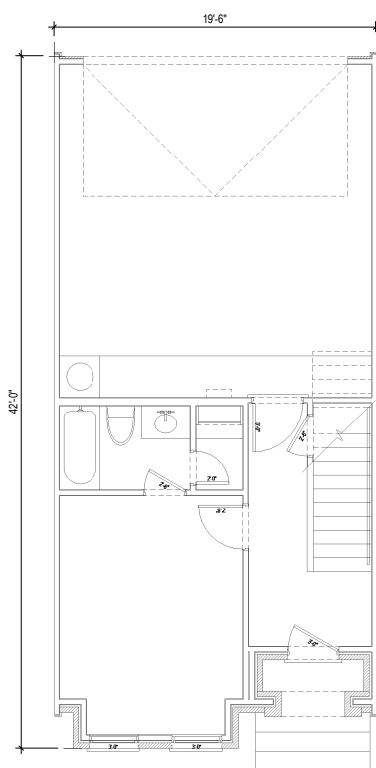
No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

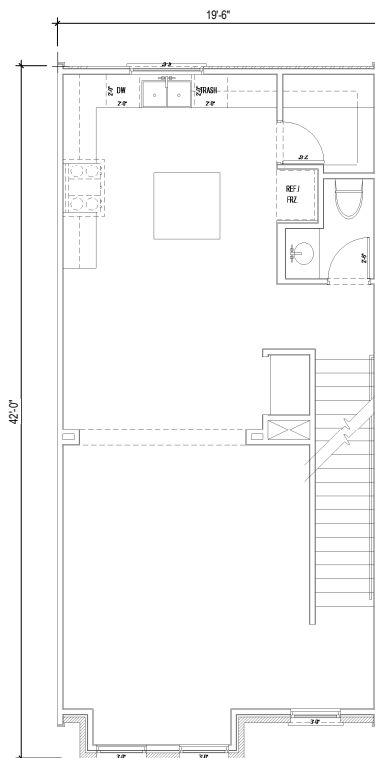
Title
FLOOR PLAN - MIDDLE UNIT

Drawn By:	Author
Checked By:	Checker
Scale:	3/16" = 1'-0"
Date:	08/05/2024
Project Number:	20240512
Sheet No.:	

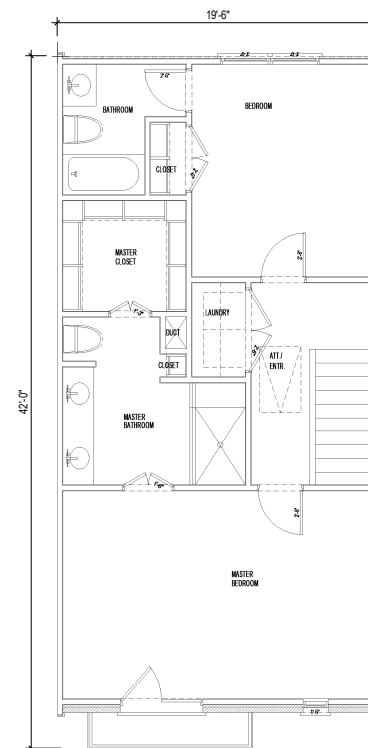
A214



SINGLE UNIT - FIRST FLOOR PLAN



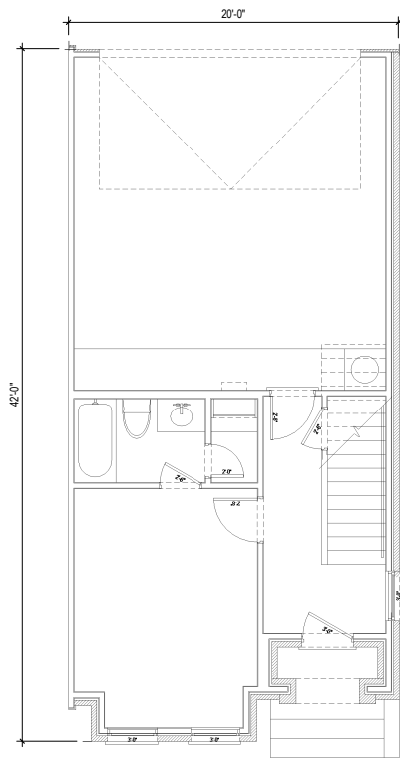
SINGLE UNIT - SECOND FLOOR PLAN



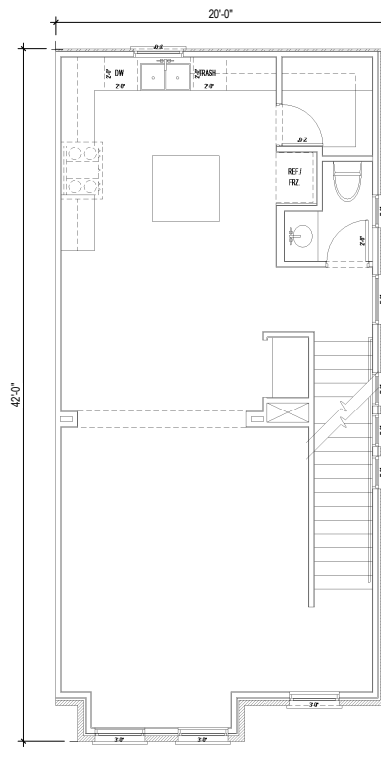
SINGLE UNIT - THIRD FLOOR PLAN

1 **MIDDLE SINGLE UNIT-19'-6" WIDE**
A214 3/16" = 1'-0"

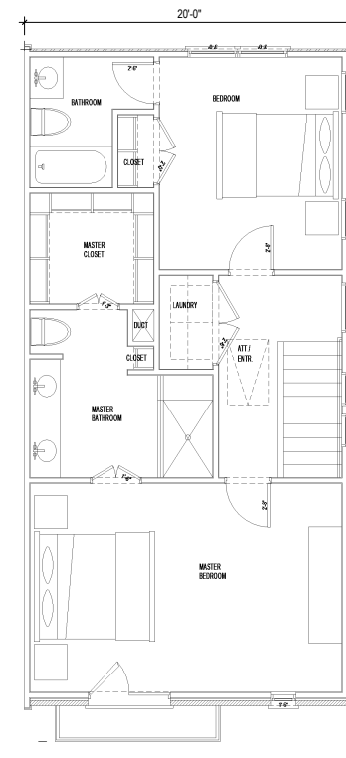
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SINGLE UNIT - FIRST FLOOR PLAN



SINGLE UNIT - SECOND FLOOR PLAN



SINGLE UNIT - THIRD FLOOR PLAN

1 RIGHT CORNER SINGLE UNIT- 20'-0" WIDE
A215 3/16" = 1'-0"



ClayCons, LLC.
5936 RidgeLine Dr
McKinney, Tx, 75070
Tel: 682 472 7039

PRELIMINARY
NOT FOR CONSTRUCTION

No.	Description	Date

Client/Project
TOWNHOUSE
COWAN TOWNHOUSES
S COWAN STREET
LEWISVILLE, TX, 75057

Title
FLOOR PLAN - RIGHT CORNER UNIT

Drawn By: Author
Checked By: Checker
Scale: 3/16" = 1'-0"
Date: 08/05/2024
Project Number: 20240512
Sheet No.:

A215

20240308 ISSUED FOR REVIEW ONLY