



**City of Lewisville, TX**  
**Joint Meeting of the Planning and**  
**Zoning Commission and**  
**Transportation Board Agenda**

151 W Church Street  
Lewisville, Texas 75057

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Tuesday, January 4, 2022

6:30 PM

Council Chambers

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**Joint Session - 6:30 P.M.**

The Planning and Zoning Commission will meet, followed immediately by the Transportation Board.

**Planning and Zoning Commission**

**A. Call to Order and Announce that a Quorum is Present.**

**B. Approval of Minutes**

1. [Consider the Minutes of the December 21, 2021 Regular Meeting.](#)

**C. Public Hearing - Zoning & Special Use Permits**

2. [Public Hearing: Consideration of a Special Use Permit for a Residential Accessory Structure and Accessory Dwelling Unit to Exceed 500 Square Feet, on Approximately 2.4452 Acres, Legally Described as Lot 7, Block A, Brittan Estates Addition, Located at 1873 Sinclair Court and Zoned Single Family Residential \(R-18\), as Requested by Bill Peck, William Peck and Associates, Inc., on Behalf of Terry and Sharlene Brittan, the Property Owners. \(Case No. 21-12-13-SUP\).](#)

**D. Announcements**

**E. Adjournment**

**Transportation Board**

**F. Call to Order and Announce that a Quorum is Present**

3. [Consideration of the Minutes from the September 7, 2021 Transportation Board Meeting.](#)

- 4. [Consideration of an Amendment to the Ordinance for Parking Restriction on Gilani Lane Between Wellington Drive and Bellaire Blvd and Make a Recommendation to the City Council Regarding the Amendment.](#)

**G. Adjournment**

**NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS**

The City will provide appropriate auxiliary aids and services, including sign language interpreters and assisted listening devices, whenever necessary to ensure effective communication with members of the public who have hearing, sight or speech impairments, unless doing so would result in a fundamental alteration of its programs or an undue financial burden. A person who requires an accommodation or auxiliary aid or service to participate in a City program, service or activity, should contact the sponsoring Department, or the Human Resource Department at 972-219-3450 or by Fax at 972-219-5005 as far in advance as possible but no later than 48 hours before the scheduled event.

I do hereby certify that the above notice of meeting of the City of Lewisville Planning and Zoning Commission was posted at City Hall, City of Lewisville, Texas in compliance with Chapter 551, Texas Government Code on \_\_\_\_\_, 2021 by \_\_\_\_\_ AM.

\_\_\_\_\_  
City Secretary

**MINUTES**  
**PLANNING AND ZONING COMMISSION**  
**DECEMBER 21, 2021**

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**Item A:**

The Lewisville Planning and Zoning Commission meeting was called to order at 6:30 p.m. by Chair MaryEllen Miksa.

Members present: Jordan Zongol; MaryEllen Miksa; Karen Locke; Erum Ali; and Francisca Al-waely.

Members absent: Sheila Taylor and Alvin Turner

Staff members present: Richard Luedke, Planning Director; Michele Berry, Planning Manager; and Jon Beckham.

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**Item B1:**

The first item on the agenda was to approve the minutes from the December 7, 2021, joint meeting with the Overlay District Board. *A motion was made by Karen Locke to approve the minutes as presented, seconded by Erum Ali. The motion passed unanimously (5-0).*

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**Item C:**

Public Hearing Plats were next on the agenda. There were two items for consideration:

2. Public Hearing: Final Plat of Discovery at the Realm Addition, Phase 1, Block A, Lots 3 and 4; on 1.361 Acres out of the Amos Singleton Survey, Abstract 1138; With a Temporary Zoning of Multi-Family 3 (MF-3); Located at 3600 Windhaven Parkway; Being a Replat of Discovery at the Realm Addition, Phase 1, Block A, Lot 2R-2.

Staff gave a brief overview of the proposed final plat with a recommendation to disapprove the final plat due to deficiencies and delegate to staff the authority to accept and approve the plat once the listed deficiencies are corrected. The approved plat will be brought to the chair for signature. Chair Miksa opened the public hearing. With no one indicating a desire to speak the public hearing was then closed. *A motion was made by Francisca Al-waely to disapprove the final plat and delegate to staff the ability to accept and approve the final plat once the listed deficiencies are corrected. The motion was seconded by Erum Ali. The motion passed unanimously (5-0).*

3. Public Hearing: Final Plat of Castle Hills Phase 10; on 76.96 Acres, Out of the B. Schoonover Survey Abstract Number 1209 and the A. Singleton Survey, Abstract Number 1138 With Temporary Zoning of Estate Townhome (ETH) and Townhouse 2 (TH-2); Located South of Windhaven Parkway, North of Parker Road (FM 544) and on the East and West Sides of Lady Tessala Drive; Being a Replat of Castle Hills Phase 10.

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DECEMBER 21, 2021**

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Staff gave a brief overview of the proposed final plat with a recommendation to disapprove the final plat due to deficiencies and to delegate to staff the ability to accept and approve the plat once the listed deficiencies are corrected. Once the deficiencies listed are corrected the approved plat will be brought to the Chairman for signature. Chair Miksa opened the public hearing. With no one indicating a desire to speak the public hearing was then closed. *A motion was made by Erum Ali to disapprove the final plat and delegate to staff the ability to accept and approve the final plat once the listed deficiencies are corrected. The motion was seconded by Jordan Zongol. The motion passed unanimously (5-0).*

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**Item D:**

Public Hearing - Zoning & Special Use Permits were next on the agenda. There were two items for consideration:

4. Public Hearing: Consideration of a Zone Change Request From Public Use (PU) District to Office (OD) District; on Approximately 1.269-Acres, Legally Described as Lot 2R, Block A, Central Elementary Addition, Located at 701 South Charles Street; as Requested by Benny Jafari TSMJ LLC, the Property Owner. (Case No. 21-12-8-Z)

Staff gave a brief overview of the proposed zone change request with a recommendation of approval as presented. Chair Miksa opened the public hearing. With no one indicating a desire to speak the public hearing was then closed. *A motion was made by Francisca Al-waely to recommend approval of the proposed zone change request as presented. The motion was seconded by Karen Locke. The motion passed unanimously (5-0).* Staff indicated that the item would appear before the Lewisville City Council on Monday, January 3, 2022, for a second public hearing and final decision.

5. Public Hearing: Consideration of a Zone Change Request From Temporary Zoning Classifications of Agriculture Open Space (AO), Single Family Residential (R-12), Town Estate Single Family Residential (TE), Estate Townhouse Residential (ETH), Townhouse Two Residential (TH-2), Multi-Family Three (MF-3), Local Commercial (LC), General Business (GB), General Business Two (GB-2), and Light Industrial (LI) Zoning to Planned Development-Single Family Residential District (PD-R-12) Zoning, Planned Development-Town Estate Single Family Residential District (PD-TE) Zoning, Planned Development-Estate Townhouse District (PD-ETH) Zoning, Planned Development-Townhouse Two Residential District (PD-TH-2) Zoning, Planned Development-Multi-Family Three Residential District (PD-MF-3) Zoning, Planned Development-Local Commercial District (PD-LC) Zoning, Planned Development-General Business District

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(PD-GB) Zoning, Planned Development-General Business Two District (PD-GB-2) Zoning, and Planned Development-Mixed Use District (PD-MU) Zoning; on an Approximately 2,568.38-Acre Tract of Land out of the James Dooley Survey, Abstract No. 343, the Haynes & Bullion Survey, Abstract No. 621 and the Peyton R. Splane Survey, Abstract No. 1218, and Part of the Horatio Groom Survey, Abstract No. 440, the R. Hensworth Survey, Abstract No. 578, the W. J. Bonner Survey, Abstract No. 122, the W. C. Cantwell Survey, Abstract No. 293, the J. T. Sherrod Survey, Abstract No. 1691, the B. F. Draper Survey, Abstract No. 367, the H. Young Survey, Abstract No. 1448, the J. E. Mcwhorter Survey, Abstract No. 1690, the S. M. Hayden Survey, Abstract No. 537, the B. B. B. & C. R. R. Survey, Abstract No. 180, the Amos Singleton Survey, Abstract No. 1138, the B. Schoonover Survey, Abstract No. 1209, the T. Wilson Survey, Abstract No. 1352, the J. B. Shippis Survey, Abstract No. 1227, the B. B. B. & C. R. R. Survey, Abstract No. 173, the David Cook Survey, Abstract No. 234, the R. Hardin Survey, Abstract No. 613, the Horatio Groom Survey, Abstract No. 441, and the W. Sparks Survey, Abstract No. 1201; Generally Located South of the Sam Rayburn Tollway (SH 121) and State Highway 121 Business, North of Hebron Parkway and on the East and West Sides of Josey Lane; as Requested by the City of Lewisville, the Applicant. (Case No. 21-06-2-PZ).

Staff gave a brief presentation regarding the proposed planned development with a recommendation of approval as presented. Staff also noted that language that currently appears in Section V E 2 of the planned development should be relocated to Section III D 2 of the planned development. Chair Miksa opened the public hearing. Mr. Patrick Klingele-Bechinger, 2326 Queen Morgan Lane, expressed concerns that the proposed zone change would increase taxes and appraisals. Staff confirmed that the Denton Central Appraisal District does not recognize municipal zoning classifications as part of their appraisal process. With no one else indicating a desire to speak, the public hearing was then closed. *A motion was made by Erum Ali to recommend approval of the proposed Planned Development with a condition that the language that currently appears in Section V E 2 of the planned development be relocated to Section III D 2 of the planned development. The motion was seconded by Francisca Al-waely. The motion passed unanimously (5-0).* Staff indicated that the item would appear before the Lewisville City Council on Monday, January 3, 2022, for a second public hearing and final decision.

**Item E:**

Announcements

Staff reminded members to log into the TxAPA Conference online and take the opportunity available to watch some of the sessions.

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**Item F:**

Adjournment of the Planning and Zoning Commission meeting.

*A motion was made by Erum Ali to adjourn the Planning and Zoning Commission meeting. The motion was seconded by Jordan Zongol. The motion passed unanimously (5-0). There being no other business to discuss, the Planning and Zoning Commission meeting was adjourned at 7:01 p.m.*

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These minutes approved by the Planning and Zoning Commission and Overlay District Board on January 4, 2022.

Respectfully Submitted,

Approved,

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Michele Berry, AICP  
Planning Manager

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MaryEllen Miksa, Chairman  
Planning and Zoning Commission

## MEMORANDUM

**TO:** Planning and Zoning Commission  
**FROM:** Michele Berry, Planning Manager  
**DATE:** January 4, 2022  
**SUBJECT:** **Public Hearing: Consideration of a Special Use Permit for a Residential Accessory Structure and Accessory Dwelling Unit to Exceed 500 Square Feet, on Approximately 2.4452 Acres, Legally Described as Lot 7, Block A, Brittian Estates Addition, Located at 1873 Sinclair Court and Zoned Single Family Residential (R-18), as Requested by Bill Peck – William Peck and Associates, Inc., on Behalf of Terry and Sharlene Brittian, the Property Owners. (Case No. 21-12-13-SUP).**

### **BACKGROUND:**

1873 Sinclair Court currently contains a large single-family home and detached garage on approximately 2.4 acres. According to Denton Central Appraisal District Records the home and garage were built in 2000. The home is approximately 7,400 square feet and the existing detached garage is approximately 400 square feet. The property owners desire to build a 1,370 square-foot pool house on the property. In addition to the 1,370 square feet of air-conditioned space there will be a 1,000 square-foot covered porch area with outdoor kitchen. The pool house may be used as an accessory dwelling unit, though that is not the primary intent.

### **ANALYSIS:**

The purpose of the building is primarily recreational with a playroom, game room, and exercise room, as well as some storage areas. Due to the restrooms and outdoor kitchen area staff believes it could be used as an accessory dwelling unit. Both accessory dwelling units and accessory buildings with aggregate square footages over 800 square feet require a special use permit (SUP).

#### *Site*

The property is at the end of a cul-de-sac street with the existing home located roughly in the center of the lot. The new pool house will be behind the main home in the side yard and will meet all building setbacks.

#### *Building*

The proposed building elevations complement the existing home and are stone and brick. The building is 1-story with a 22-foot-high roof peak. This height will require a variance from the Zoning Board of Adjustment if the SUP is approved. The maximum height allowed by zoning is 12 feet.

*Summary*

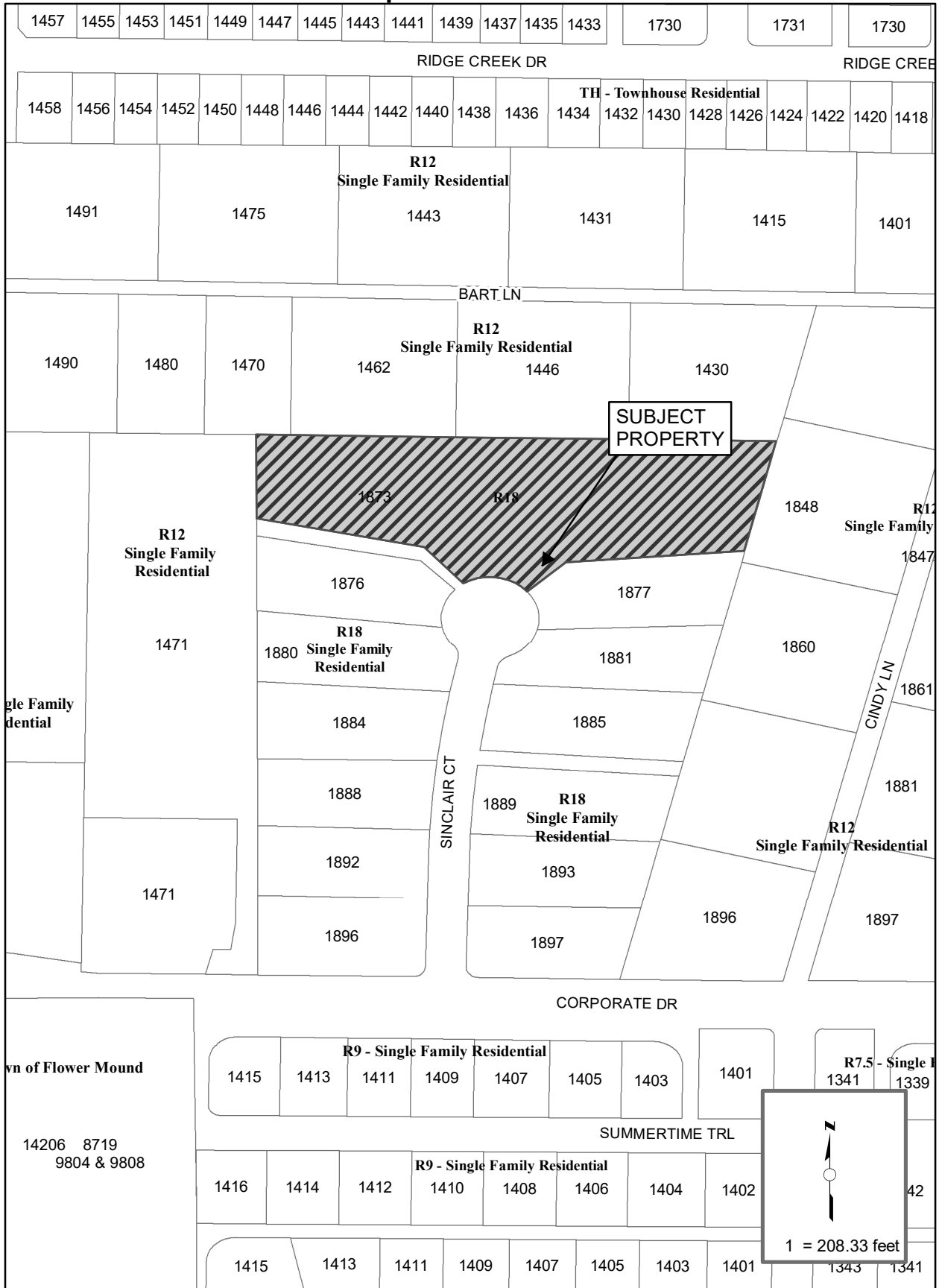
While this is a large and tall structure it is located on a large lot and will be complimentary and accessory to the main home.

**RECOMMENDATION:**

That the Planning and Zoning Commission recommend approval of the Special Use Permit as presented.



# Location Map - 1873 Sinclair Court



# Aerial Map - 1873 Sinclair Court



| This Section (Office Use Only) |     |
|--------------------------------|-----|
| Case:                          |     |
| PZ:                            | CC: |
| Sign/s Picked Up By:           |     |



**LEWISVILLE**  
Deep Roots. Broad Wings. Bright Future.

**SPECIAL USE PERMIT (SUP)  
APPLICATION**

|   |   |
|---|---|
| Owner/s (name): <i>TERRY + Sharlene Brittan</i>   |   |
| Company Name:   |   |
| Mailing Address: <i>1873 SINCLAIR COURT</i>   |   |
| Work #:   | Cell #: <i>214-704-3860 hers / 214-676-9250 his</i> |
| E-Mail: <i>S.BRITTIAN@Verizon.net</i>   |   |
| Owner Signature (Owner/s Must Sign or Submit Letter of Authorization):<br><i>Terry Brittan + Sharlene Brittan</i> | Date: <i>12-16-21</i>                               |
| Printed Name: <i>TERRY BRITTIAN + SHARLENE BRITTIAN</i>   |   |

|                           |         |
|---------------------------|---------|
| Applicant/Agent (name):   |         |
| Company Name:             |         |
| Mailing Address:          |         |
| Work #:                   | Cell #: |
| E-Mail:                   |         |
| Applicant/Agent Signature | Date:   |
| Printed Name:             |         |

|  |                         |              |
|--|-------------------------|--------------|
| Current Zoning: _____                                | Requested Zoning: _____ | Acres: _____ |
| Legal Description (Lot/ Block/Tract/Abstract): _____ |                         |              |
| Address/Location: _____                              |                         |              |

Application and Sign Fees:

|  |                           |           |
|--|---------------------------|-----------|
|  | Less than 1/2 acre        | \$ 150.00 |
|  | 1/2 acre up to 4.99 acres | \$ 250.00 |
|  | 5 acres up to 24.99 acres | \$ 400.00 |

|  |                            |            |
|--|----------------------------|------------|
|  | 25 acres up to 49.99 acres | \$ 750.00  |
|  | 50 acres up to 99.99 acres | \$1,000.00 |
|  | 100 acres and more         | \$1,500.00 |

|            |   |          |
|------------|---|----------|
| Qty: _____ | <b>SUP Signs - \$35 each.</b><br>1 sign required for each 5 acres (max. 5 per site) | \$ _____ |
|------------|---|----------|

**Sign(s) must be posted a minimum of ten (10) days prior to the Planning & Zoning hearing date.**

|   |          |
|---|----------|
| <b>Amount Due</b><br>(application & sign fee) | \$ _____ |
|---|----------|

William Peck & Assoc., Inc.  
a r c h i t e c t s

105 W. Main St.  
Lewisville, TX 75057  
Office 972.221.1424

December 13, 2021

To Whom It May Concern:

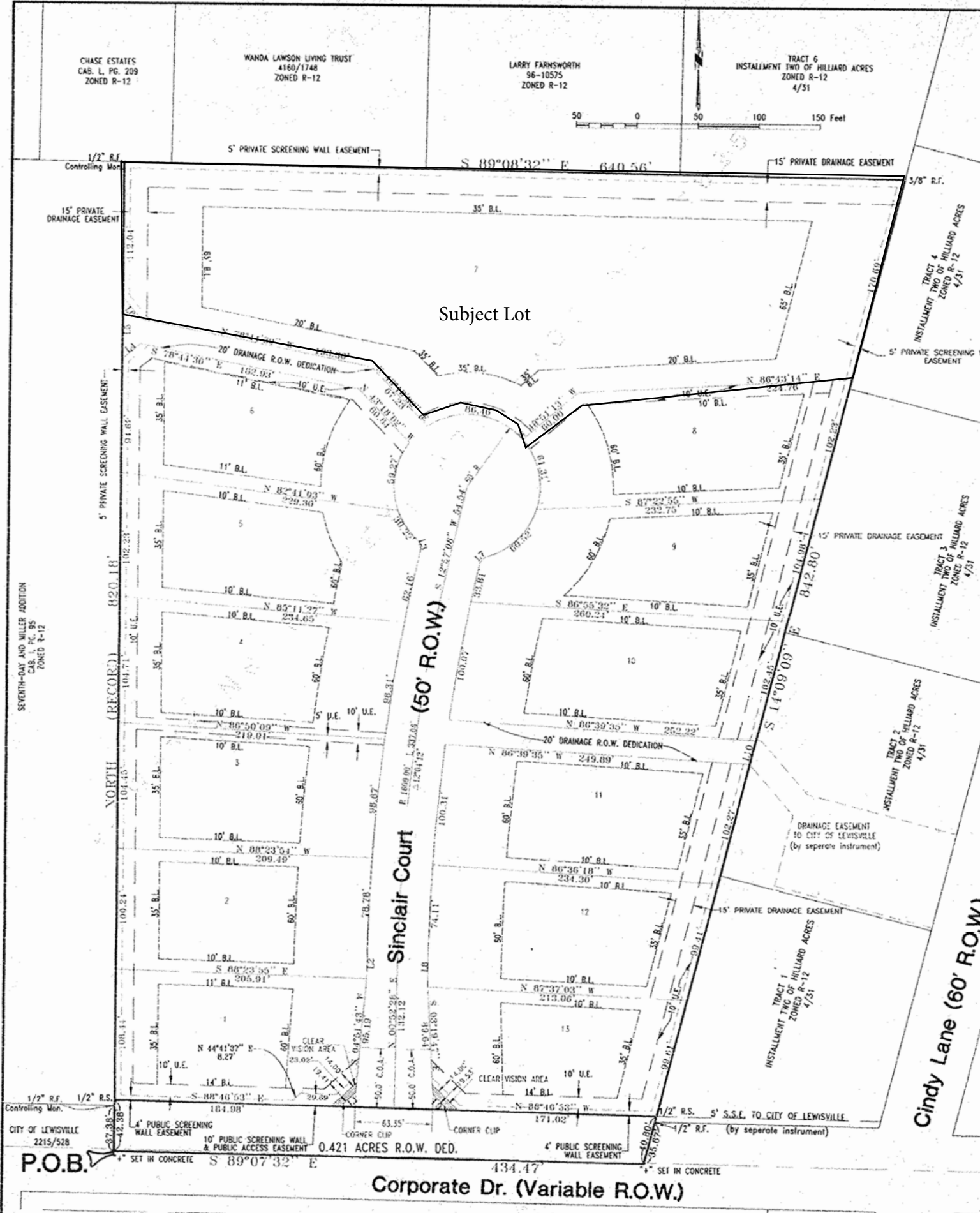
The Brittian family would like to build a pool house on their existing land. The plans are attached and reflect the 1,370 sf conditioned space that is aprox 22' tall to the highest point.

Please let us know if you need any more information.

Sincerely,

William Peck, AIA

CAD. W. J. Old



**LEGAL DESCRIPTION**

Being all that certain lot, tract or parcel of land situated in the Jesse Watkins Survey, Abstract Number 1325, City of Lewisville, Denton County, Texas, and being all that certain called 5 acre tract of land described in deed to Sam A. Stenzoy et ux, Joan Stenzoy recorded in Volume 686, Page 354 of the Deed Records of Denton County, Texas, and being all of that certain tract of land described in deed to Sam A. Stenzoy and wife, Joan C. Stenzoy recorded in Volume 822, Page 424 of the Deed Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a "+" set in concrete near the center of Corporate Drive, a public roadway having a variable right-of-way, said point being the southwest corner of said 5 acre tract, some being the southeast corner of that certain called 0.128 acre tract of land described in deed to the City of Lewisville, Texas, recorded in Volume 2215, Page 528 of the Real Property Records of Denton County, Texas;

THENCE North (Record), along the west line of said 5 acre tract and the east line of said 0.128 acre tract, pass by 37.38 feet a 1/2" rebar found at the northeast corner thereof, some being the southeast corner of Lot 1, Block A of Seventh-Day & Miller Addition, an addition to the City of Lewisville, Denton County, Texas, according to the plat thereof recorded in Cabinet 1, Page 95 of the Plat Records of Denton County, Texas, continuing along the east line thereof a total distance of 820.18 feet to a 1/2" rebar set at the northeast corner thereof, some being the northwest corner of said 5 acre tract, said point also being on the south line of Lot 2 of Chase Estates, an addition to the City of Lewisville, Denton County, Texas according to the plat thereof recorded in Cabinet 1, Page 209 of the Plat Records of Denton County, Texas;

THENCE S 89°08'32" E, along the north line of said 5 acre tract and the south line of said Lot 2, pass the southeast corner thereof and the southwest corner of a 1 acre tract at least described in deed to The Wanda Lawson Living Trust recorded in Volume 4160, Page 1748 of the Real Property Records of Denton County, Texas, continuing along the south line thereof, pass the southeast corner thereof and the southwest corner of that certain called 1.007 acre tract of land described in deed to Larry C. Farnsworth and wife, Joan L. Farnsworth recorded in Clerk's File Number 56-10575 of the Real Property Records of Denton County, Texas, continuing on the south line thereof, pass the northeast corner of said 5 acre tract and the northwest corner of said Stenzoy tract recorded in Volume 822, Page 424 (Stenzoy tract), continuing along the north line thereof, pass the southeast corner of said 1.007 acre tract and the southwest corner of Tract 6 of Installment Two of Hilliard Acres, an addition to the City of Lewisville, Denton County, Texas, according to the plat thereof recorded in Volume 4, Page 31 of the Plat Records of Denton County, Texas, continuing on the south line thereof a distance of 840.56 feet to a 3/8" rebar found at the southeast corner thereof, said point being the northeast corner of said Stenzoy tract;

THENCE S 14°09'09" W, along the east line of said Stenzoy tract and the west line of said Installment Two of Hilliard Acres, pass at 807.13 feet a 1/2" rebar found at the southwest corner of Tract 1 of said addition on the north line of said Corporate Drive, continuing a total distance of 842.80 feet to a "+" set in the center thereof, said point being the southeast corner of said Stenzoy tract;

THENCE N 89°07'37" W, in the center of said Corporate Drive and along the south line of said Stenzoy tract, pass the southwest corner thereof and the southeast corner of said 5 acre tract, continuing along the south line thereof a distance of 434.47 feet to the POINT OF BEGINNING and containing approximately 10.120 acres of land.

**OWNER'S CERTIFICATE AND DEDICATION**

STATE OF TEXAS  
COUNTY OF DENTON : NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT I, Reginald Rembert, am the owner of the hereinabove described tract of land and do hereby adopt this Final Plat designating the same as Britian Estates Addition, an addition to the City of Lewisville, Denton County, Texas, and do hereby dedicate to public use forever, all streets and alleys shown hereon, and do hereby dedicate the easement strips shown on the plat for the mutual use and accommodation of the City of Lewisville and all public utilities desiring to use or using same. No buildings, fences, trees, shrubs, signs or other improvements shall be constructed over or across the easement strips shown on said plat. The City of Lewisville and any public utility shall have the right to remove and keep removed all or any part of buildings, fences, trees, shrubs, signs or other improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips, and the City of Lewisville or any public utility shall at all times have the right of ingress and egress for the purpose of constructing, reconstructing, patrolling, maintaining or adding to or removing all or any part of its respective system without the necessity of any time of procuring the permission of anyone.

A blanket easement of three (3) foot radius from the center point of all fire hydrants and a two (2) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do hereby dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public spaces shown on the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

WITNESS MY HAND this 30 day of June 1999.

Reginald Rembert, Owner

STATE OF TEXAS  
COUNTY OF DENTON : BEFORE ME, THE UNDERSIGNED AUTHORITY, personally appeared Reginald Rembert, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 30<sup>th</sup> day of June 1999.

Kelli Morgan  
Notary Public  
State of Texas

My commission expires the 28<sup>th</sup> day of January, 2003

VARIANCES REQUESTED (Approved May 4, 1999)

1. No Alleys.

All variances, if any, from General Development Ordinance approved by City Council.

Chairman  
TIM BLAIR  
Planning and Zoning Commission



**BLOCK A**

| LOT | SQ. FT. | ACRES |
|-----|---------|-------|
| 1   | 21,619  | 0.496 |
| 2   | 20,771  | 0.477 |
| 3   | 21,682  | 0.498 |
| 4   | 22,804  | 0.526 |
| 5   | 23,159  | 0.532 |
| 6   | 22,614  | 0.519 |
| 7   | 106,515 | 2.445 |
| 8   | 23,282  | 0.534 |
| 9   | 22,416  | 0.515 |
| 10  | 25,673  | 0.589 |
| 11  | 24,347  | 0.559 |
| 12  | 22,294  | 0.512 |
| 13  | 19,580  | 0.449 |

**LINE TABLE**

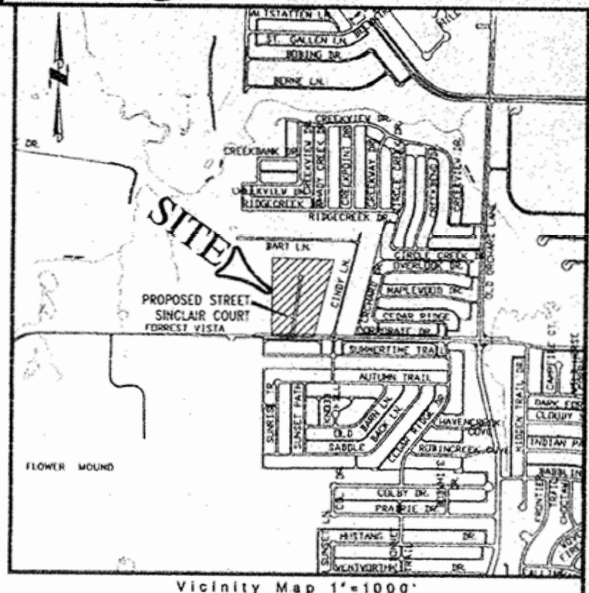
| NUMBER | DISTANCE | BEARING       |
|--------|----------|---------------|
| L1     | 17.32'   | N 47°25'13" E |
| L2     | 21.44'   | N 02°52'28" E |
| L3     | 7.39'    | N 18°11'03" W |
| L4     | 19.42'   | N 50°32'52" E |
| L5     | 51.00'   | NORTH         |
| L6     | 23.66'   | S 39°22'15" E |
| L7     | 5.70'    | S 44°00'28" W |
| L8     | 27.36'   | S 00°52'28" W |
| L9     | 17.43'   | S 45°01'14" E |
| L10    | 20.36'   | S 14°09'09" E |

**Summary Table**

|                 |                 |
|-----------------|-----------------|
| Zoning          | R-18            |
| Number of Lots  | 13              |
| Min. Lot Size   | 19,580          |
| Min. House Size | 2,400 sq. ft.   |
| Density         | 1.28 units/acre |

Total Area = 10.120 Ac.  
Net Area = 8.658 Ac.

- NOTES:**
- Street intersection to have clear vision area of 45'x45' measured from projected curb lines.
  - All lot corners marked with 1/2" rebar set unless otherwise noted.
  - Three (3) shade trees (5" caliper min.) shall be provided for each lot by builder.
  - Bearings based on West line of subject property as shown.
  - Park dedication: \$250.00 per dwelling unit payable at final plat. (per Parks Department)
  - Width of front building lines are measured as arc lengths.



THE UNDERSIGNED, the City Secretary of Lewisville, Texas, hereby certifies that the foregoing plat of Britian Estates Addition, an addition to the City of Lewisville, Texas, was submitted to the appropriate Planning and Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the 6<sup>th</sup> day of JULY, 1999, and such body by formal action then and there accepted the dedication of streets, alleys, parks, easements, utility easements and water and sewer lines, as shown and set forth in and upon said plat, and that the City Secretary further authorized the acceptance thereof by signing as hereinabove shown and set forth.

WITNESS MY HAND, this 15<sup>th</sup> day of July 1999.

Marty Hendrix  
MARTY HENDRIX  
CITY SECRETARY



**SURVEYOR'S CERTIFICATE**

The plat hereon correctly represents a survey made under my supervision and to the best of my knowledge and belief correctly placed as shown.

Mark Paine, R.P.L.S.  
Texas Registration No. 5078



**FINAL PLAT**  
BRITIAN ESTATES  
Addition  
Lots 1-13, Block A  
10.120 Acres  
Zoned R-18  
in the  
J. WATKINS SURVEY, ABSTRACT NO. 1325  
CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS

**G & A Consultants, Inc.**  
SITE PLANNING • PLATTING  
CIVIL ENGINEERING  
LAND SURVEYING  
P.O. Box 1398 • Lewisville, Texas 75067  
Phone (972) 317-9680 • Fax (972) 317-9681  
REVISED: 06/28/99  
REVISED: 06/08/99  
REVISED: 05/11/99

DRAWN BY: W.T.E. DATE: 04/16/99 SCALE: 1"=50' JOB NO. 98173

OWNER/DEVELOPER  
Reginald Rembert  
1504 Oak Drive  
Flower Mound, TX 75028  
(972)-518-3370  
(972)-318-3888  
Contact: Reginald Rembert

Filed for Record in:  
DENTON COUNTY, TX  
CYNTHIA MITCHELL, COUNTY CLERK

On Jul 27 1999  
At 8:48am

Doc/Num : 99-00075943  
Doc/Type : PLN  
28 08

**LEGEND**

|        |                         |        |                    |
|--------|-------------------------|--------|--------------------|
| R.F.   | Rebar Found             | R.O.W. | Right-of-Way       |
| R.S.   | Rebar Set               | P.P.   | Power Pole         |
| U.E.   | Utility Easement        | C.O.A. | Control of Access  |
| B.L.   | Building Line           | P.O.B. | Point of Beginning |
| S.S.E. | Sanitary Sewer Easement |        |                    |

CREEK HAVEN ADDITION  
ZONED R-9  
CAB. D, PG. 346  
P.D.C.T.

CITY OF LEWISVILLE  
2215/528

P.O.B. SET IN CONCRETE S 89°07'32" E

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT  
0.421 ACRES R.O.W. DED.

1/2" R.F. 1/2" R.S.  
Controlling Mon.

CORNER CLIP

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

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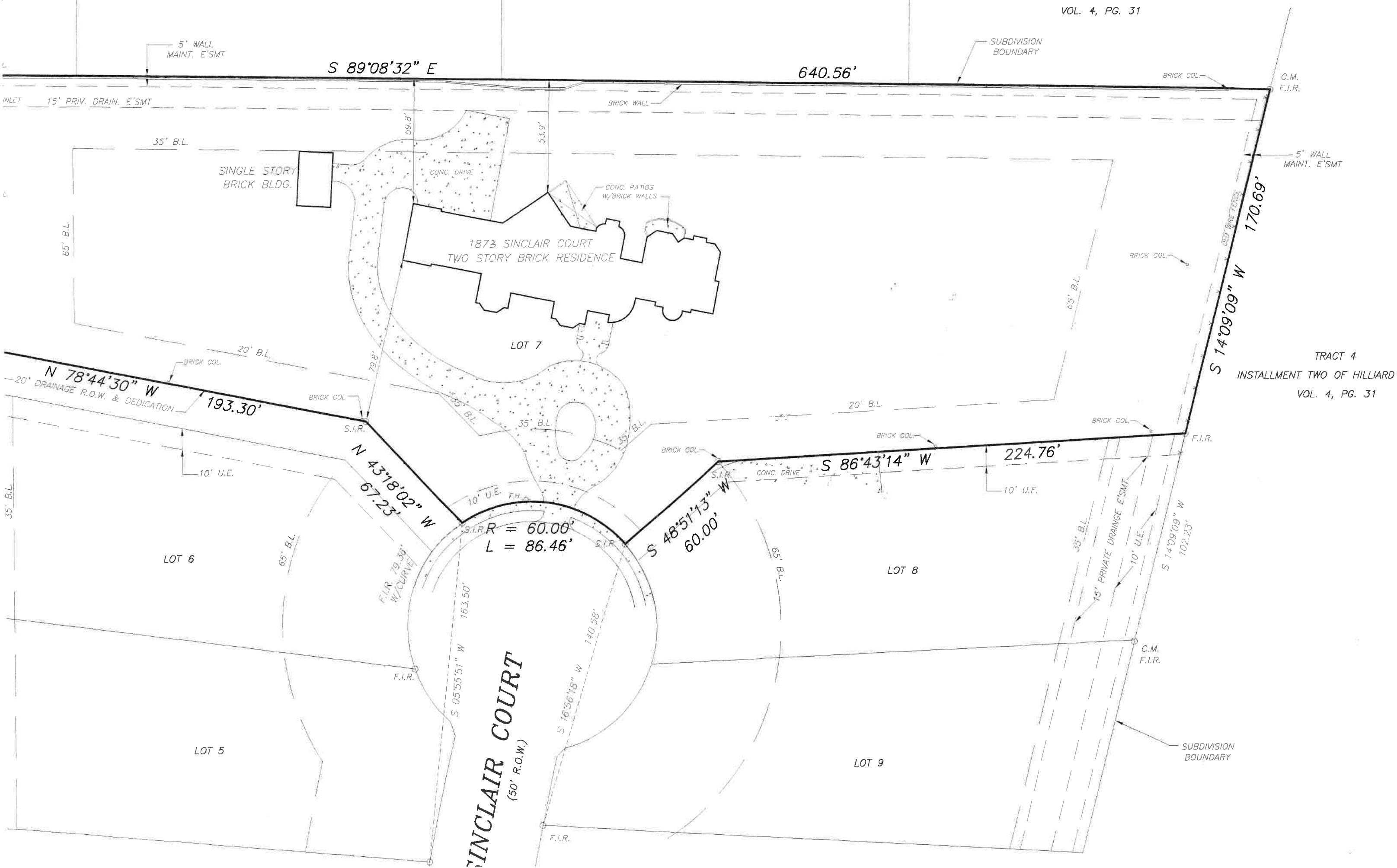
10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

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Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT

1/2" R.F. 1/2" R.S.  
Controlling Mon.

10' PUBLIC SCREENING WALL & PUBLIC ACCESS EASEMENT



# BRITTIAN POOL HOUSE

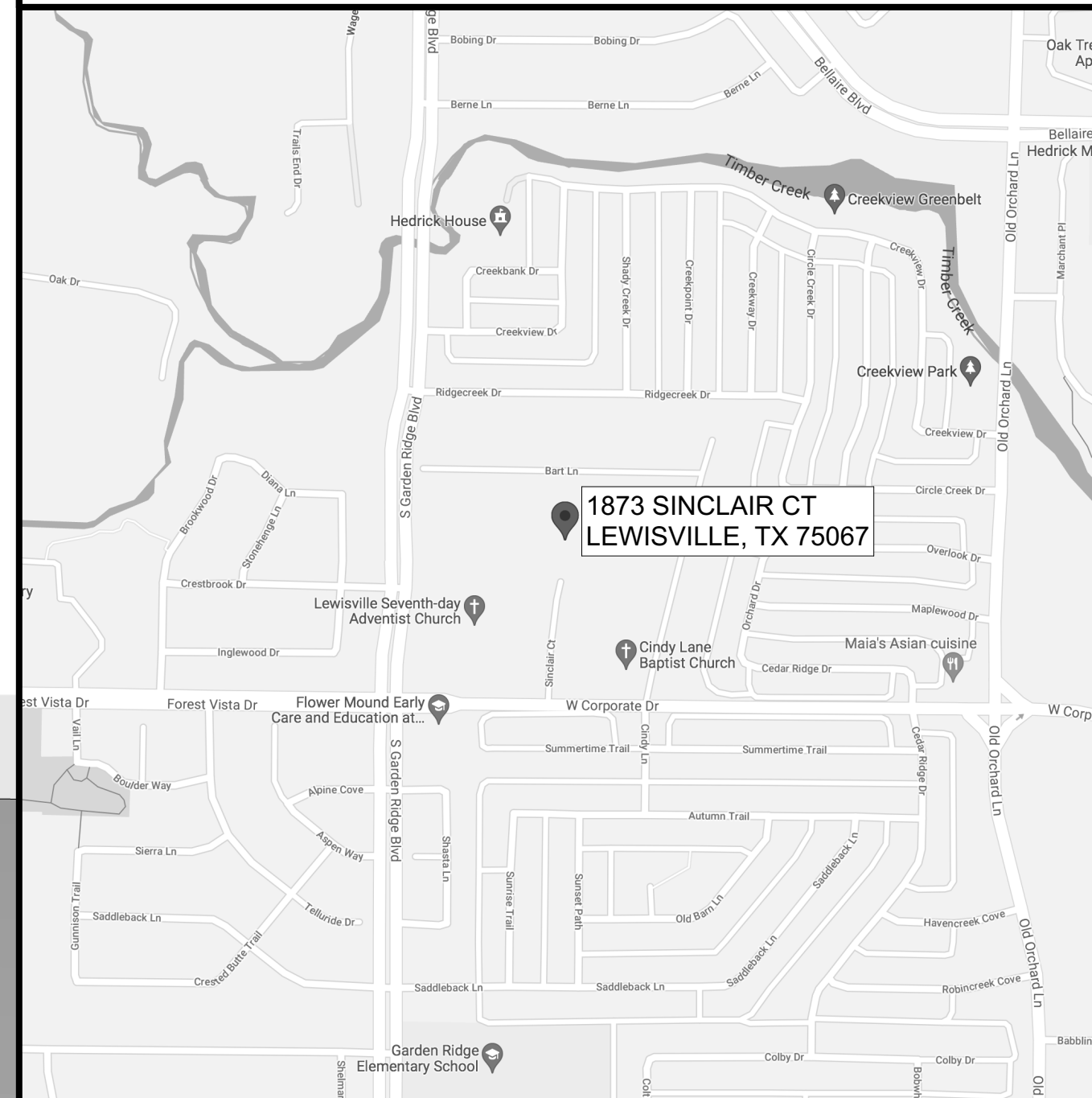
1873 Sinclair Court  
Lewisville, Texas



## GENERAL NOTES

01. THE OWNER'S STANDARD FORM OF AGREEMENT AND GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION IS HEREBY MADE A PART OF THESE CONSTRUCT DOCUMENTS.
02. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT.
03. THE SCOPE OF WORK TO BE PERFORMED IS AS DESCRIBED IN THESE GENERAL NOTES AS SHOWN ON THE ACCOMPANYING DRAWINGS AND SPECIFICATIONS, TO BE FURTHER SUPPLEMENTED BY EXPLANATORY DETAILS AS REQUIRED.
04. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING IF HE / SHE CANNOT COMPLY WITH ALL OF THE GENERAL NOTES CALLED FOR ON THIS SHEET AND ON ALL OTHER DRAWINGS.
05. ALL DESIGN DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
06. ALL WORK LISTED OR IMPLIED ON THE DRAWING SHEETS OR NOTES SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. IT IS EXPECTED THAT EACH CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THE OTHER CONTRACTORS TO ASSURE THAT ALL SCHEDULES ARE MET.
07. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY A PREMIUM QUALITY OF CONSTRUCTION MATERIALS AND WORKMANSHIP THROUGHOUT.
08. THE CONTRACTORS, UPON ACCEPTANCE OF THE DRAWING, ASSUMES FULLY THE RESPONSIBILITY FOR THE CONSTRUCTION DOCUMENTS, FOR THEIR SPECIFIC TRADE, ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
09. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THEIR WORK DURING ALL PHASES OF CONSTRUCTION AND UNTIL TURNED OVER TO THE OWNER.
10. CONTRACTORS SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUT SHEETS TO THE ARCHITECT FOR APPROVAL IN A TIMELY MANNER.
11. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL PROVIDE THE ARCHITECTS WITH CONSTRUCTION SCHEDULES SHOWING THE CHRONOLOGICAL PHASES OF THEIR WORK FOR THE TIMELY COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, AND THE FINAL COMPLETION DATE.
12. THE CONTRACTORS, THEIR SUBCONTRACTORS, OR ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE WORK AS A RESULT OF BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
13. THE CONTRACTORS SHALL FURNISH WEEKLY FIELD PROGRESS REPORTS TO THE ARCHITECT FOR ALL PHASES OF CONSTRUCTION.
14. CONTRACTORS SHALL FILE WITH THE DEPARTMENT OF BUILDING INSPECTION, PAY FILING FEES OR DEPOSITS AND OBTAIN BUILDING PERMITS, SPECIFIC TRADE PERMITS, LICENSES AND APPROVALS.
15. ALL CONSTRUCTION TO BE AS PER ALL APPLICABLE AND GOVERNING FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND AUTHORITIES, INCLUDING ADA COMPLIANCE.
16. ALL DRAWINGS ARE DRAWN TO SCALE AS MUCH AS POSSIBLE BUT ARE NOT INTENDED TO BE, AND SHOULD NOT BE, SCALED.
17. ALL CONTRACTORS SHALL FURNISH AND INSTALL ALL REQUIREMENTS FOR SAFETY TO MEET OR EXCEED OSHA REQUIREMENTS.
18. CONTRACTORS SHALL COORDINATE ALL WORK TO ALLOW ACCESSIBILITY AND USE OF ALL ADJACENT SPACES.
19. DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING CONSTRUCTION THAT IS TO REMAIN.
20. LANDSCAPE SHRUBS AND TREES TO REMAIN MUST BE PROTECTED FROM DAMAGE.
21. CONTRACTORS ARE TO COORDINATE WITH OWNER'S SEPERATE CONTRACTORS FOR DATA/PHONE, CABLE AND SECURITY SYSTEM INSTALLATION.
22. GENERAL CONTRACTOR IS TO PAY FOR ALL MATERIALS TESTING AND H.V.A.C. TESTING AND BALANCING. THESE ARE TO INDEPENDENT AGENCIES.
23. CONTRACTOR IS TO POWER WASH SPRAY CLEAN ALL EXISTING SIDEWALKS AND CURBS TO REMAIN.
24. UPON COMPLETION OF THE PROJECT, CONTRACTORS IS TO CLEAN ALL NEW AND EXISTING CONSTRUCTION SHOWN TO REMAIN.
25. ALL GENERAL NOTES APPLY TO ALL SHEETS.

## LOCATION MAP



## CONTACTS

**ARCHITECT:**  
PECK ARCHITECTS  
105 W. MAIN ST.  
LEWISVILLE, TX 75057  
972.221.1424

## CODE SUMMARY

### CODE REVIEW INFORMATION:

2018 International Building Code with City of Lewisville Amendments  
2018 International Residential Code with City of Lewisville Amendments  
2018 International Mechanical Code with City of Lewisville Amendments  
2018 International Plumbing Code with City of Lewisville Amendments  
2017 National Electrical Code with City of Lewisville Amendments  
2018 International Fire Code with City of Lewisville Amendments  
2018 International Energy Code with City of Lewisville Amendments

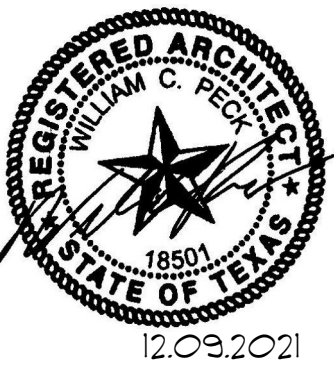
### BUILDING AREA:

AIR CONDITIONED SPACE: 1370 sq. ft.  
PORCHES: 1,192 sq. ft.

OVERALL PROVIDED: 2,562 sq. ft.

## DRAWING INDEX

| ID    | Name                |
|-------|---------------------|
| A-001 | INDEX               |
| A-002 | SITE PLAN           |
| A-101 | FLOOR PLAN          |
| A-201 | EXTERIOR ELEVATIONS |
| A-301 | LIGHTING & POWER    |
| A-302 | ROOF & ROOF FRAMING |



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### REVISIONS

| INDEX | ISSUE DATE: |
|-------|-------------|
|       | 12.09.2021  |

Scale: REF. PLAN

Drawn: JB

Job: 21-147-001

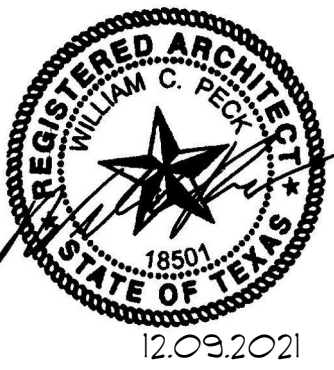
Sheet Number:

**A-001**

WANDA LAWSON LIVING TRUST  
VOL. 4160, PG. 1748

LARRY FARNSWORTH  
C.C.# 96-10575

TRACT 6  
INSTALLMENT TWO OF HILLIARD ACRES  
VOL. 4, PG. 31



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REVISIONS

| NO. | DATE | DESCRIPTION |
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|     |      |             |

ISSUE DATE: 12.09.2021

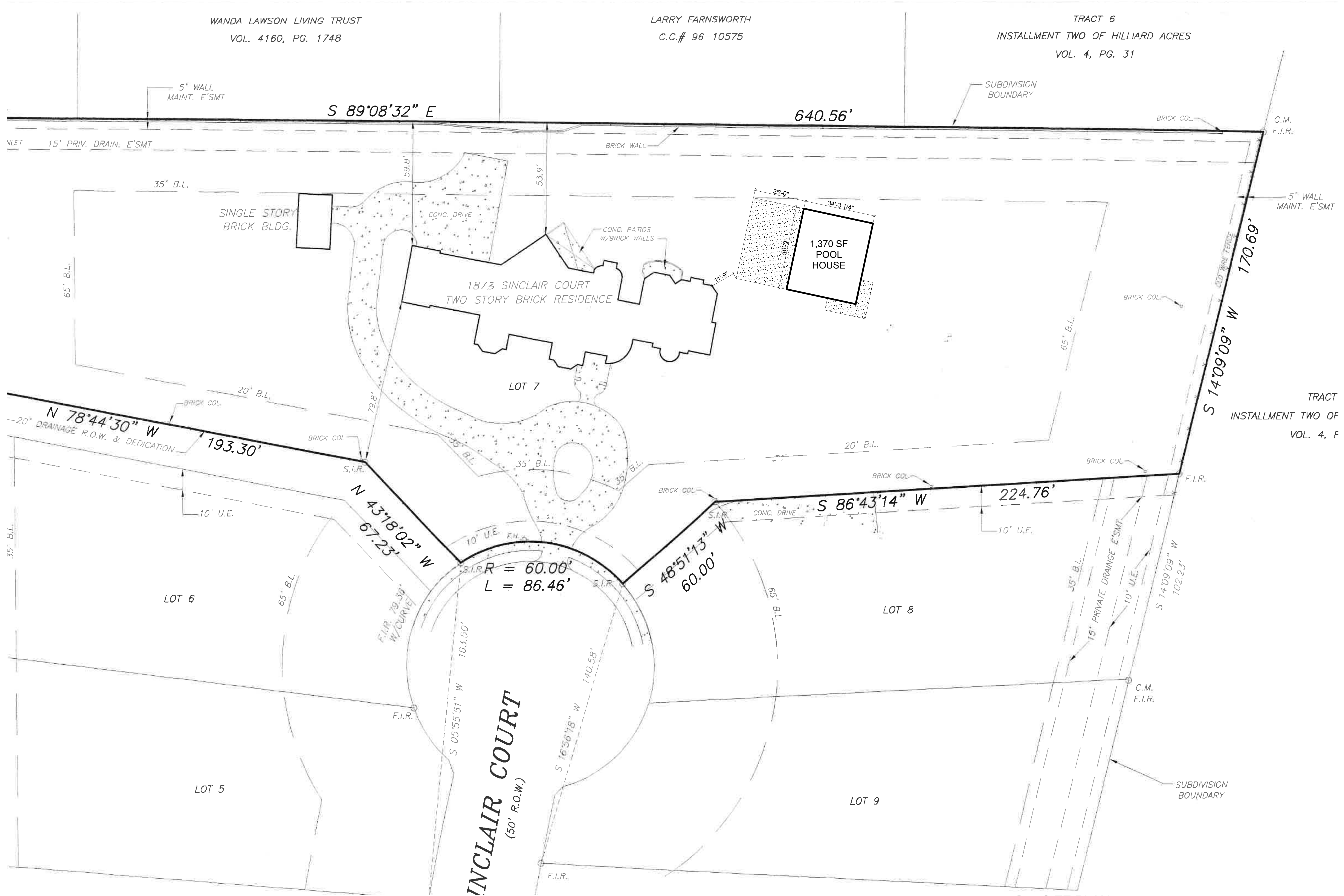
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Job: 21-147-001

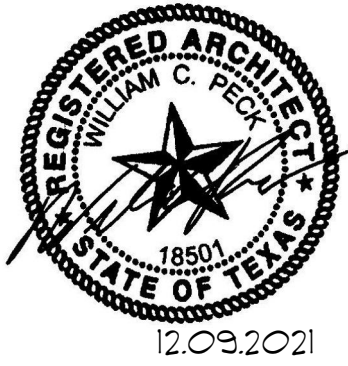
Sheet Number:

A-002



**1 SITE PLAN**  
SCALE: 1" = 20'





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**PECK ARCHITECTS**

REVISIONS

FLOOR PLAN

ISSUE DATE: 12.09.2021

Scale: REF. PLAN

Drawn: JB

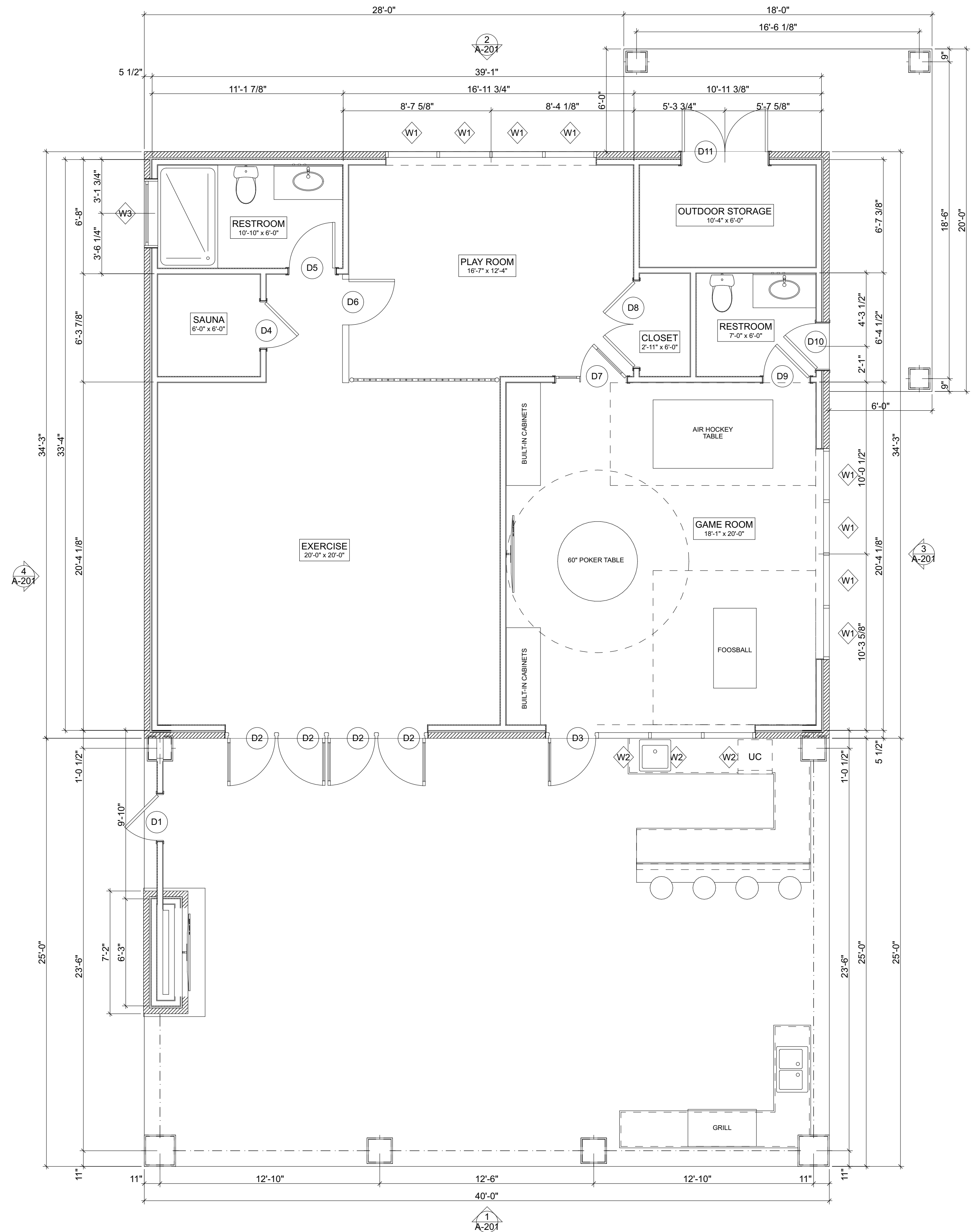
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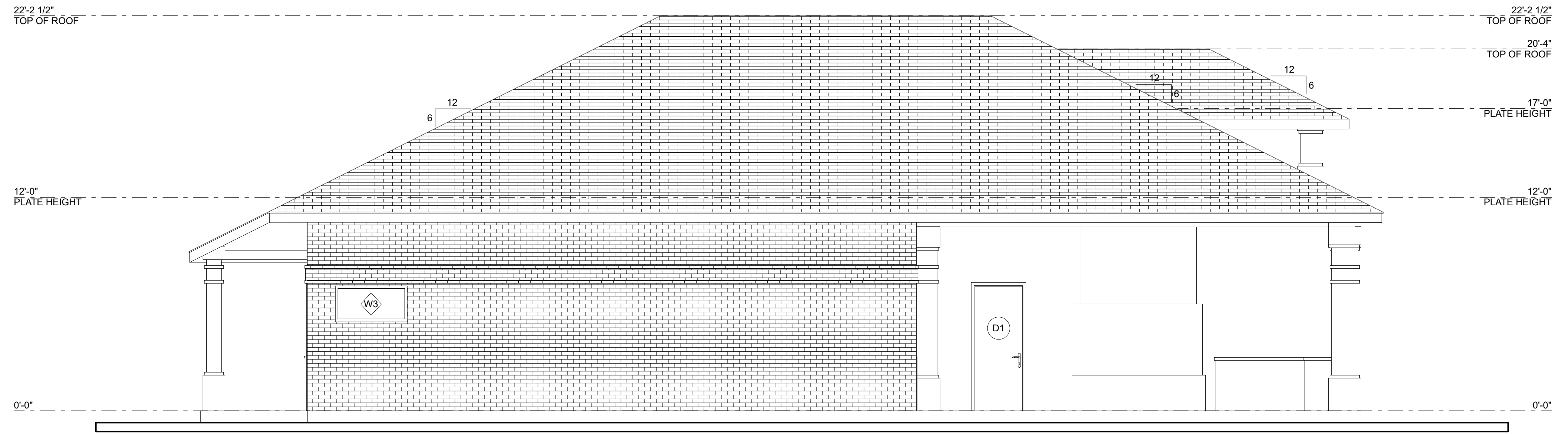
**A-101**

| WINDOW SCHEDULE |       |       |        |        |       |
|-----------------|-------|-------|--------|--------|-------|
| MARK            | QUANT | SIZE  |        | HEADER | NOTES |
|                 |       | WIDTH | HEIGHT |        |       |
| W1              | 8     | 3'-1" | 8'-0"  | 10'-0" |       |
| W2              | 3     | 3'-1" | 7'-0"  | 10'-0" |       |
| W3              | 1     | 4'-0" | 2'-0"  | 7'-0"  |       |
| W4              | 3     | 2'-0" | 2'-0"  | 2'-11" |       |

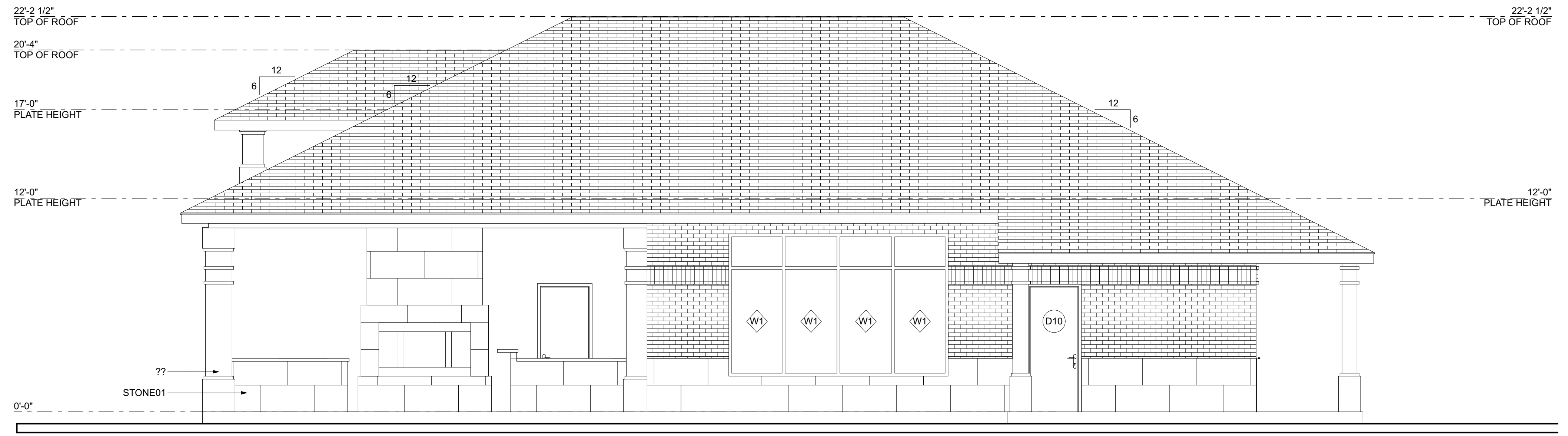
| DOOR AND FRAME SCHEDULE |       |       |       |                 |          |               |       |
|-------------------------|-------|-------|-------|-----------------|----------|---------------|-------|
| MARK                    | SIZE  |       | QUANT | LOCATION        | HARDWARE |               | NOTES |
|                         | W     | HT    |       |                 | SET NO   | KEYSIDE RM NO |       |
| D1                      | 2'-8" | 8'-0" | 1     | PORCH           |          |               |       |
| D2                      | 2'-9" | 8'-0" | 4     | EXERCISE ENTRY  |          |               |       |
| D3                      | 2'-9" | 8'-0" | 1     | GAME ROOM ENTRY |          |               |       |
| D4                      | 2'-8" | 6'-8" | 1     | SAUNA           |          |               |       |
| D5                      | 2'-8" | 6'-8" | 1     | RESTROOM        |          |               |       |
| D6                      | 2'-8" | 6'-8" | 1     | PLAY ROOM       |          |               |       |
| D7                      | 2'-8" | 6'-8" | 1     | GAME ROOM       |          |               |       |
| D8                      | 5'-0" | 6'-8" | 1     | CLOSET          |          |               |       |
| D9                      | 2'-8" | 6'-8" | 1     | RESTROOM        |          |               |       |
| D10                     | 2'-8" | 8'-0" | 1     | RESTROOM        |          |               |       |
| D11                     | 5'-0" | 8'-0" | 1     | OUTDOOR STORAGE |          |               |       |



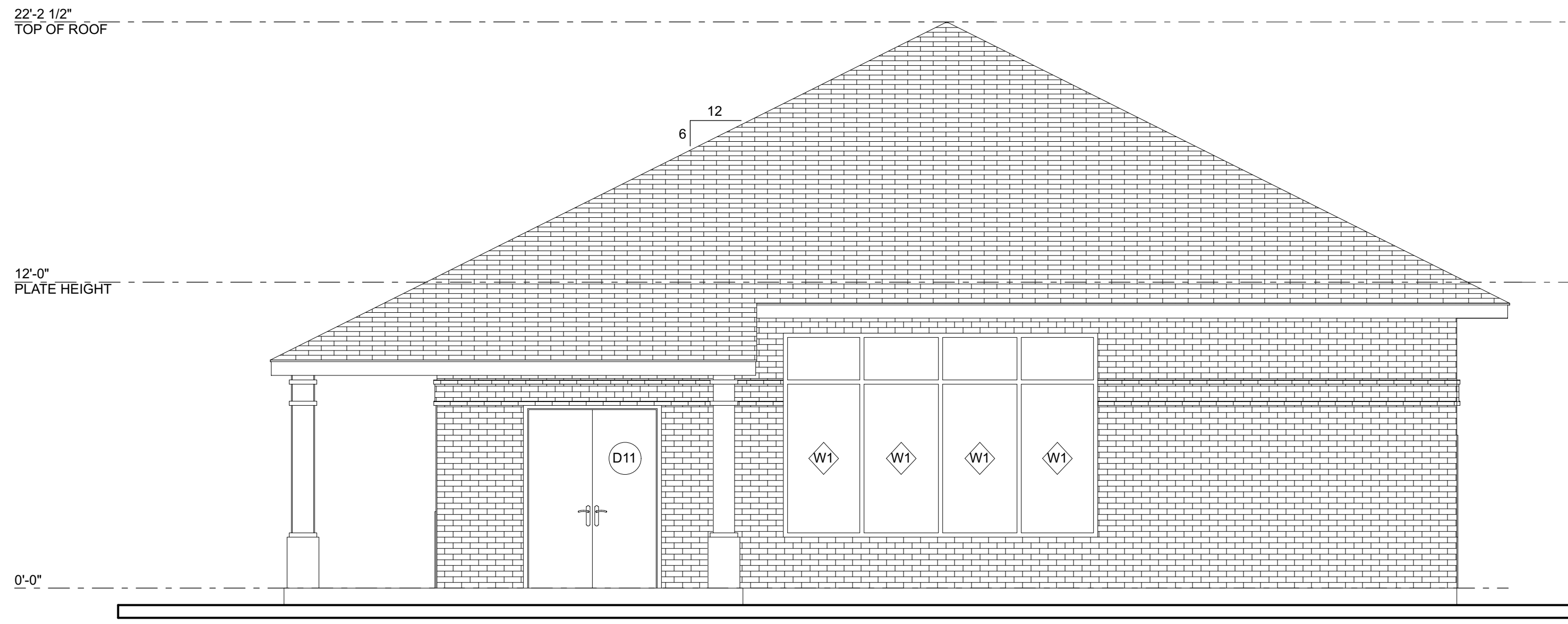
**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



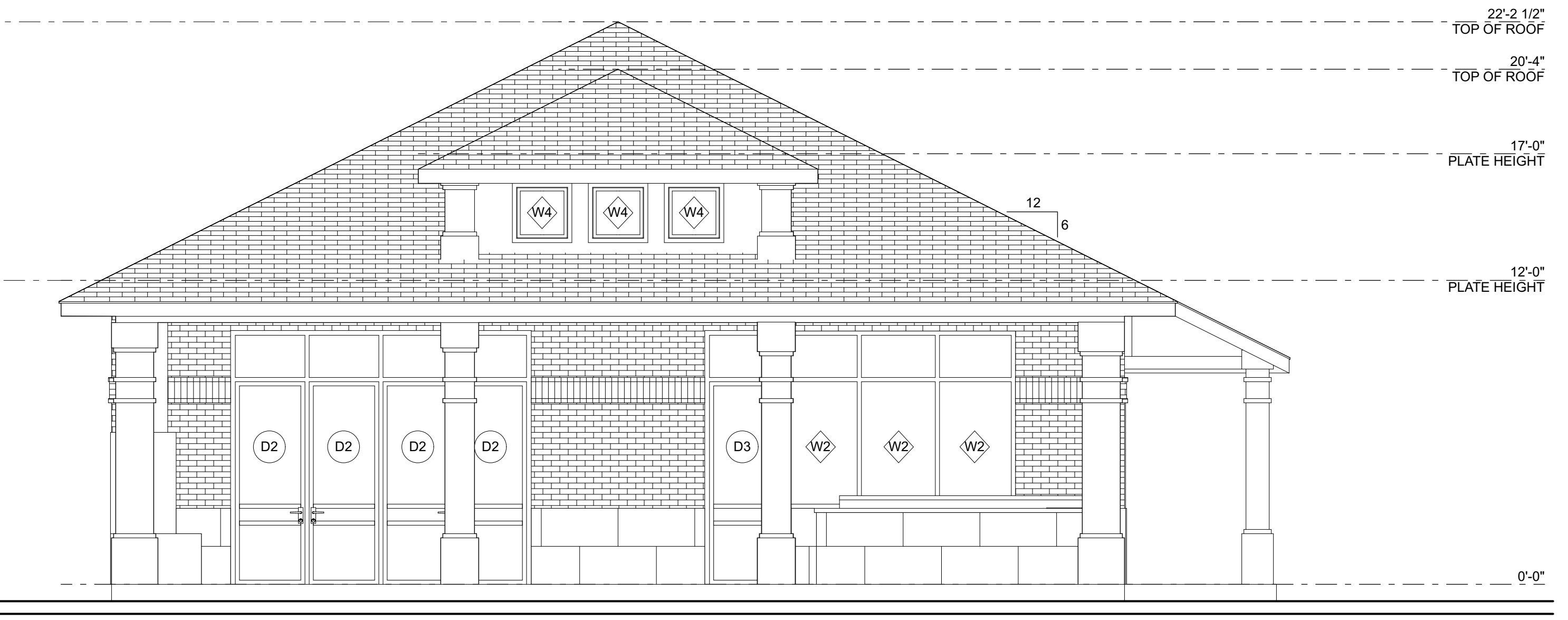
**4 ELEVATION (1)**  
SCALE: 1/4" = 1'-0"



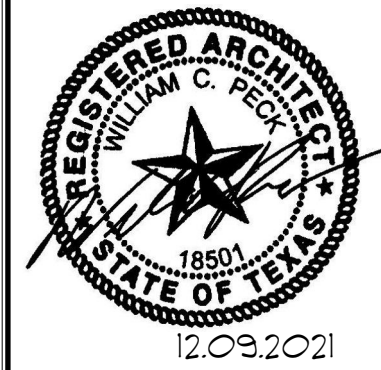
**3 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



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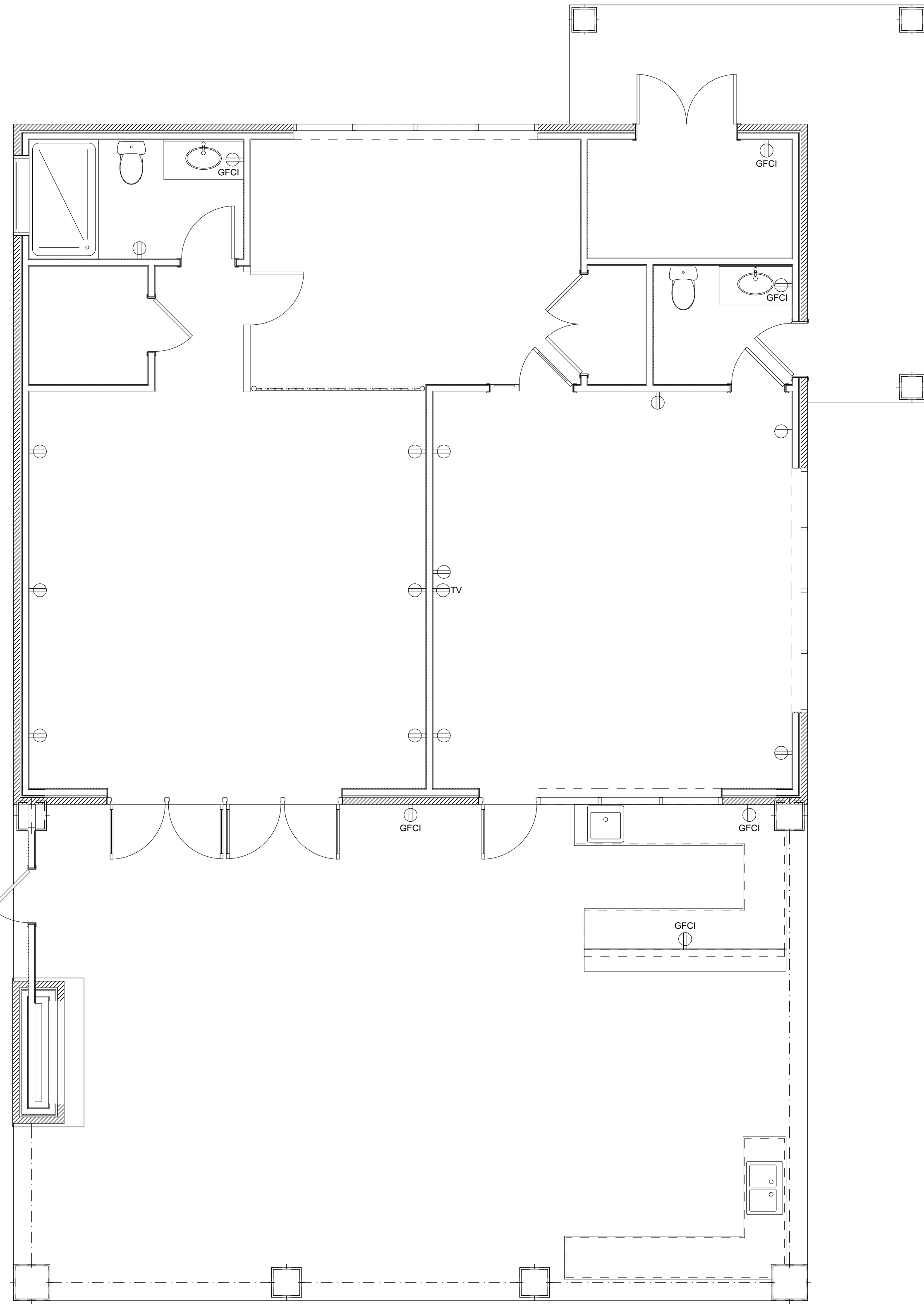
**PECK ARCHITECTS**

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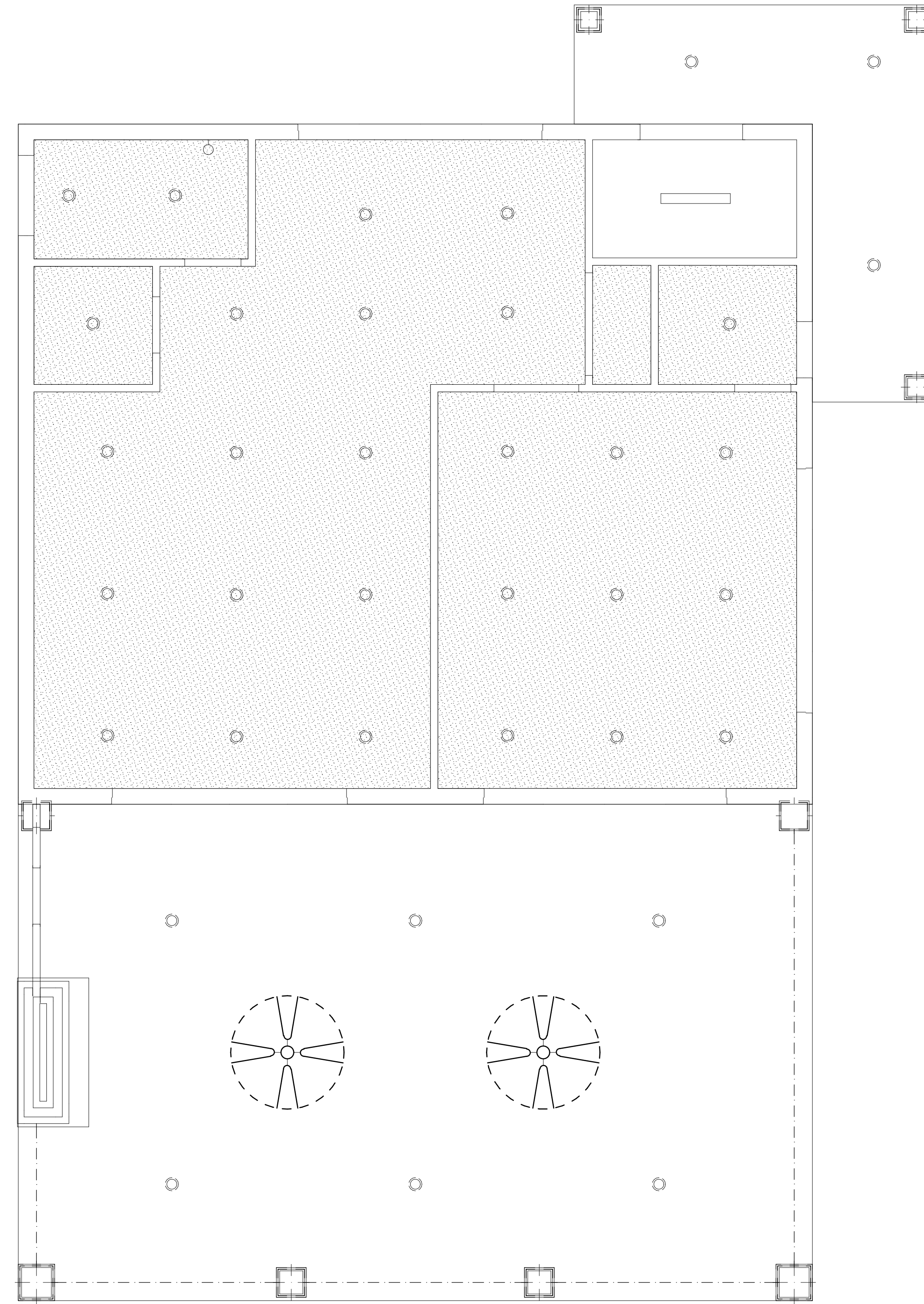
ISSUE DATE: 12.09.2021

Scale: REF. PLAN  
Drawn: JB  
Job: 21-147-001  
Sheet Number:

**A-201**



**2 POWER PLAN**  
SCALE: 1/4" = 1'-0"



**1 LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"



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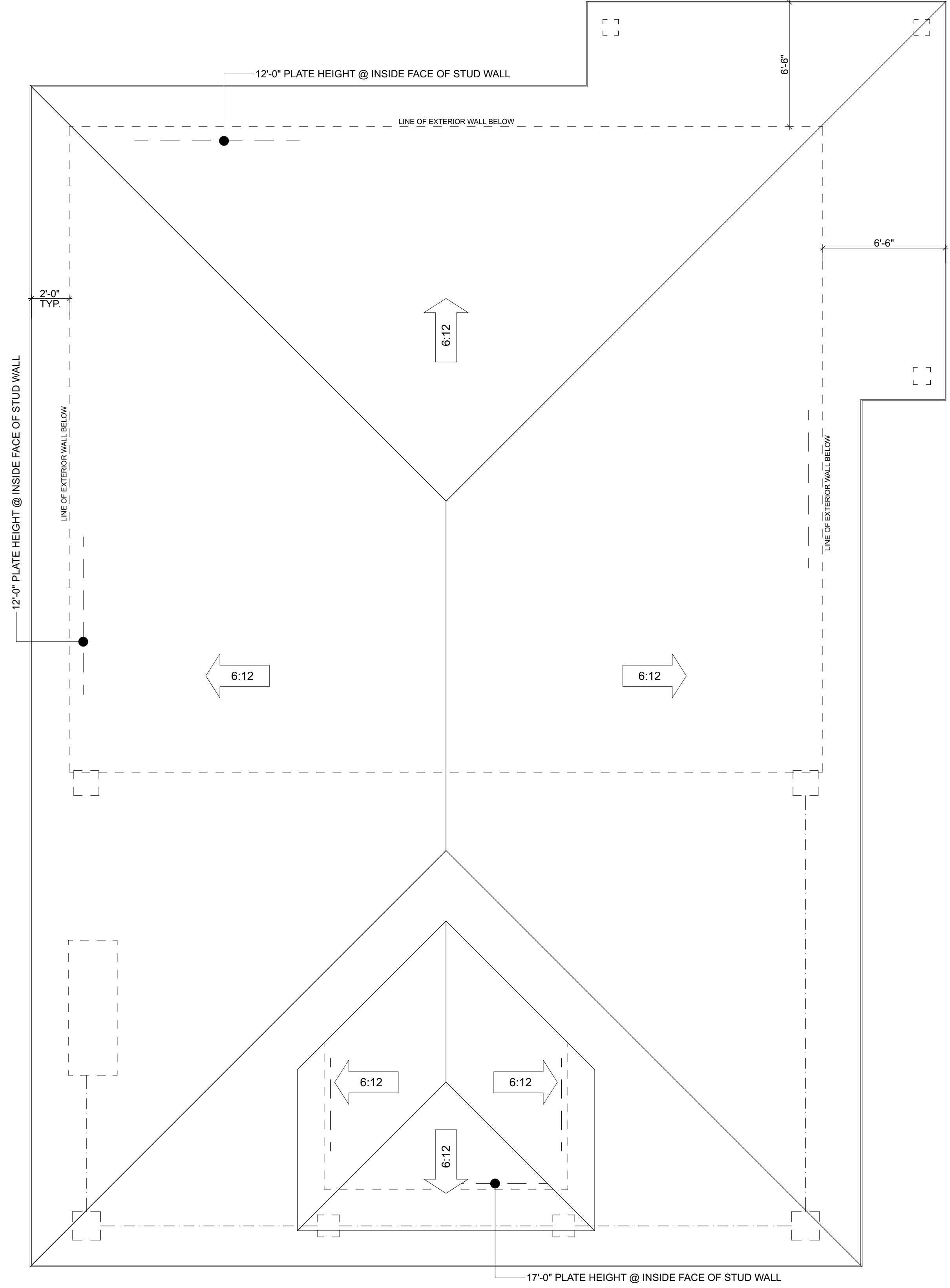
**PECK ARCHITECTS**

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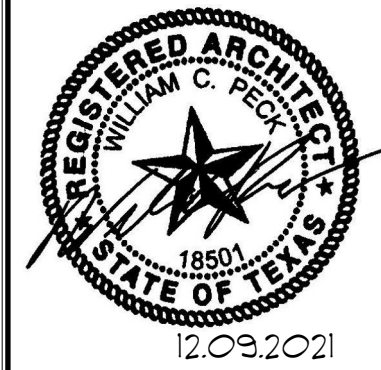
ISSUE DATE: 12.09.2021

Scale: REF. PLAN  
Drawn: JB  
Job: 21-147-001  
Sheet Number:

**A-301**



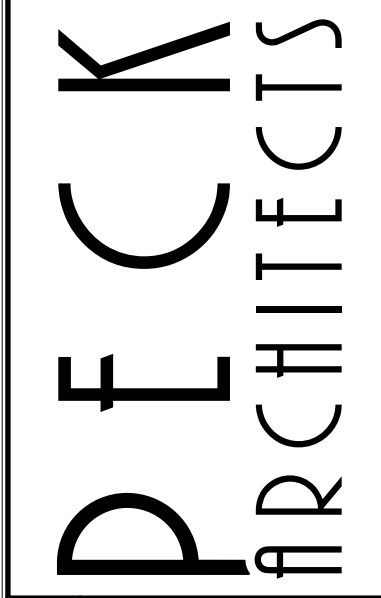
**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"



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ISSUE DATE: 12.09.2021

Scale: REF. PLAN

Drawn: JB

Job: 21-147-001

Sheet Number:

**A-302**

**MINUTES  
TRANSPORTATION BOARD**

**Tuesday September 07, 2021**

**Item No. 1    Call to Order and Announce a Quorum is Present**

Chairman Mary Ellen Miksa called the Lewisville Transportation Board meeting to order at 07:36 p.m. and announced that a quorum was present with the following members in attendance:

Mary Ellen Miksa  
Karen Locke  
Francesca Alwaely  
Erum Ali  
Alvin Turner  
Sheila Taylor  
Jordan Zongol

Members Absent: None

Staff Present: Sagar Medisetty, Jason Walker & Daphne Stubbs

**Item No. 2    Approval of the Minutes**

A motion was made by Karen Locke and seconded by Alvin Turner to approve the minutes of the July 6th, 2021 meeting.

All members present voted aye (7-0), and the motion carried.

**Item No. 3    Visitors/Citizens Forum**

At this time, any person with business before the Board not scheduled on the Agenda may speak to the Board. No formal action can be taken on these items at this meeting.

No speakers came forth.

**Item No. 4 Consideration of an Amendment to Section 15-87, Limitations on Turning Around, Prohibiting U-Turns on South Bound Josey Lane at the Intersection of the Memorial Elementary School Driveway and Make a Recommendation to the City Council Regrading the Amendment.**

Sagar Medisetty & and Jason Walker presented this item and explained that the new Memorial Elementary School has opened, however, the intersection of Josey Lane and Memorial School Driveway doesn't have a southbound left turn lane. The vehicles on southbound Josey Lane are making unsafe U-Turns from a travel lane a 50mph speed limit, and with sight restrictions.

Staff requested prohibiting U-Turns on South Bound Josey Lane at the intersection of the Memorial Elementary School Driveway and make a recommendation to the City Council.

Staff recommends the consideration.

A motion was made by Erum Ali to approve the item and seconded by Sheila Taylor to approve the Consideration of an Amendment to Section 15-87, Limitation on Turning Around, Prohibiting U-Turns on Southbound Josey Lane at the Intersection of the Memorial Elementary School North Driveway, and Make a Recommendation to the City Council Regarding the Amendment.

The vote was 7 ayes and 0 nays. The motion carried.

**Item No. 7 Adjournment**

A motion to adjourn was made by Karen Locke and seconded by Sheila Taylor. The vote was 7 ayes and 0 nays.

The meeting adjourned at 7:39 pm.

Respectfully submitted,

David Salmon P.E.  
City Engineer

|   |             |
|---|-------------|
| <b>THESE MINUTES APPROVED BY THE<br/>LEWISVILLE TRANSPORTATION BOARD.</b> |             |
| _____   | _____       |
| <b>CHAIRMAN</b>   | <b>DATE</b> |

**Item No. 4 – Consideration of an Amendment to the Ordinance for Parking Restriction on Gilani Lane between Wellington Drive and Bellaire Blvd and Make a Recommendation to the City Council Regarding the Amendment.**

Action                       Possible Action                       Informational Item

Presenter: Jason Walker

**Background:**

Gilani Lane is a short entry street in the Chase Oaks neighborhood. Founders Academy parents regularly park on the short street while dropping off and picking up students creating congestion within the entrance to the neighborhood. Staff has received multiple complaints from Chase Oaks residents about the congestion during school drop off and pick up times.

**Analysis:**

Staff observed Gilani Lane during student arrival and dismissal times over several days and noticed heavy parking occurs on both sides of Gilani Lane during the student pick up and drop off times.

Residents of the Chase Oaks neighborhood have restricted access at the intersection of Bellaire Boulevard and Gilani Lane as left turns and U-turns are prohibited from 7 am thru 9:15 am during the morning school student arrival time. Turn restrictions have been posted by ordinance to improve the school pedestrian crossing safety at the Bellaire Boulevard and Gilani Lane intersection. The turn restriction period coincides with the morning rush hour for the residents. The only two (2) access points into and out of the neighborhood are via Gilani Lane to Bellaire Blvd. and Woodrow Drive to Valley Pkwy. Summarily, residents are already inconvenienced by the turn restrictions at Gilani Ln and Bellaire Blvd during the morning rush hour. Additional parent parking occurring on Gilani Lane impeding traffic flow further exacerbates the traffic congestion for Chase Oaks residents. The parking restriction on Gilani Lane does not affect parking in front of any homes. The residents of the two homes directly adjacent to Gilani Lane have been notified of the proposed parking change and staff will take into account their response and feedback prior to the City Council meeting.



*Figure 1: Existing 'No Left Turn / No U Turn' signs on all four approaches of Gilani Lane and Bellaire Blvd (traffic signs circled in red color) during the morning student arrival times*

Parents do park along Wellington Drive in the neighborhood as well for the purpose of dropping off and picking up their kid(s). This can continue to occur as long as the parents are not blocking any driveways.

Staff recommends no parking on Gilani Lane. Signage will be installed by Public Services.

**Recommendation:**

Staff requests the Transportation Board recommend to the City Council prohibiting parking on Gilani Lane.





Figure 2: Location Map for the Parking Restriction on Gilani Lane



WELLINGTON

NO PARKING FROM HERE TO CORNER SIGN

NO PARKING FROM HERE TO CORNER SIGN

BELLAIRE BLVD

GILANI LN

LLJ EARLY CHILDHOOD CENTER

FOUNDERS ACADEMY

LOCATION MAP FOR NO PARKING ON GILANI LANE

